

COBAR SHIRE COUNCIL

DEVELOPMENT APPLICATION REPORT AND RECOMMENDATION

Change of Use – Place of Worship to Centre-Based Child Care Facility

1. DETAILS OF THE APPLICATION

Application Number:	2022/LD-00031
Applicant:	Arzal Arzal, Little Kindy Pty Ltd
Land:	57 Brough St, Cobar Lot 72 in DP520071
Proposed Development:	Change of Use - Place of Worship to Centre-Based Child Care Facility
Integrated Development:	Not Applicable
Designated Development:	Not Applicable
Other Approvals Under s4.12 of the <i>Environmental; Planning & Assessment Act 1979:</i>	Carry Out Water Supply, Sewerage and Stormwater Drainage Work under Section 68 of the <i>Local Government Act 1993</i>

2. EXECUTIVE SUMMARY AND RECOMMENDATION

Proposed Development:

Council has received a Development Application for a Centre-Based Child Care Facility. The proposal involves a "Change of Use" from a former Place of Public Worship to the proposed new development. The proposal is not regionally significant development and therefore is Local Development and can be determined by Council. The facility will cater for 28 children from the ages of 2-5 years as well as employ five (5) full time staff. The application was placed on public exhibition on Council's website for 14 days, advertised in the Cobar Weekly and formally notified to eleven (11) adjoining and adjacent property owners. A total of seven (7) submissions were received in respect of the proposal.

Following an assessment of the application relative to the *Environmental Planning and Assessment Act 1979* (EP & A Act) and other related legislation, the application is recommended for approval by granting conditional consent.

Permissibility:

The relevant local environmental plan applying to the site is the *Cobar Local Environmental Plan 2012* (the LEP). The aims of the LEP include:

- To encourage a range of housing employment, recreation and community facilities to meet the needs of existing and future residents of Cobar, and
- To promote the efficient and equitable provision of public services, infrastructure and amenities.

The proposed development is consistent with these aims as the proposal is providing a new facility to the

community in the form of a centre-based child care facility to meet the needs of existing and future residents of Cobar. The design, location and capacity of the new facility is consistent with promoting the efficient and equitable provision of public services, infrastructure and amenities.

The site is located in the R2 Low Density Residential Zone and under the Land Use Table of the LEP “centre-based child care facilities are permitted with consent.

One of the objectives of the R2 Low Density Residential Zone is:

“to enable other land uses that provide facilities or services to meet the day to day needs of the residents”

The proposal is considered to be consistent with this zone objective as the proposal is a land use, other than residential, that will provide a facility or service that will meet the daily needs of those residents who have young children. In addition, the proposed development will assist in meeting the demand for childcare services in the Cobar LGA.

There is definitely a demand for this facility as the existing Kubby House Child Care facility can only accommodate 31 children and has a “wait list” of 90. In addition, the Ngalii Preschool has a capacity of 20 children and Cobar Preschool has a capacity of 30 children.

The site has been checked relative to the maps identified in the LEP and with the exception of the Land Zoning Map, all of the other maps (as listed below) are not applicable to the subject application:

- Lot Size Map
- Heritage Map
- Land Reservation Acquisition Map
- Terrestrial Biodiversity Map
- Groundwater Vulnerability Map
- Watercourse Map
- Wetlands Map
- Additional Permitted Uses Map

The LEP also contains controls relating to development standards, miscellaneous provisions and local provisions. The controls relevant to the proposal are identified in Table 1 below, together with comments:

Table 1: Consideration of the LEP Controls

Control	Requirement	Proposal	Complies
Demolition requires consent (cl. 2.7)	Demolition may be carried out with consent	The floor plan indicates minor internal demolition as well as demolition of a small external storage shed	Yes
Earthworks (cl. 6.1)	<ol style="list-style-type: none"> 1. Objectives 2. Separate consent unless ancillary 3. Matters for consideration 	Proposal assessed against requirements. Only minor earthworks required for proposed new external storage/laundry building and shade structures	Yes
Stormwater management (cl. 6.3)	<ol style="list-style-type: none"> 1. Objective 2. Application 3. Matters for consideration 	Proposal assessed against requirements. Roofwater from new storage/laundry building to be	Yes

		connected to existing stormwater drainage system	
Essential Services (cl. 6.10)	Essential services being available	Proposal assessed against requirements. Site has all existing essential services	Yes

Specific comments in respect to each of the identified controls are as follows:

- **Clause 2.7**

This clause requires that demolition may be carried out only with development consent. Further, Section 61 of the *Environmental Planning and Assessment Regulation 2021* prescribes that the provisions of AS 2601-1991 “The Demolition of Structures” are to be taken into consideration by a consent authority in the case of a development application for the demolition of a building.

Demolition can also be undertaken as “Exempt Development” under Subdivision 13 of Part 2 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, (Codes SEPP) however it must comply with clauses 1.15, 1.16, 2.25 and 2.26 of the Codes SEPP.

The submitted floor plan indicates that the proposed change of use will involve the internal demolition of several non-loadbearing walls and parts of internal walls, the removal of a window, the removal of an external hinged door and the removal of two windows which are to be made into sliding doors. Also, a small external garden shed is proposed to be demolished. As the demolition does not fit into the “Exempt Development” criteria, it has correctly been included as part of the development application as requiring consent.

- **Clause 6.1**

This clause relates to a control in respect of proposed earthworks and relates to the proposed development only in as far as being relevant to the proposed new external storage/laundry building and the proposed shade structure. The proposed earthworks are considered to be minor and are ancillary to a necessary part of the proposed facility. The extent of the earthworks does not warrant requiring a separate development consent as they will have minimal environmental impact.

- **Clause 6.3**

The clause relates to a control in respect of stormwater management with the objective of minimising the impacts of urban stormwater at the development site, adjoining properties, native bushland and receiving waters.

The stormwater site plan for the proposal indicates that any new stormwater drainage pipelines and surface stormwater drains will be connected to existing stormwater pipelines which discharge to the street gutter.

The roof water from the building is piped to the street gutter and the proposed roof water from the new storage/library building will be connected to the existing stormwater pipelines which discharge to the street gutter.

- **Clause 6.10**

This clause states that development consent must not be granted to development unless the consent authority is satisfied that essential services needed for the proposed development are available or that adequate arrangements are made to make them available when required.

The site is serviced by suitable road access, existing reticulated water supply, reticulated sewerage system, reticulated electricity and stormwater drainage system. As these essential services are existing

and available, the precondition to granting consent is satisfied.

In summary, the proposal is considered to be consistent with the LEP and consent may be granted without the need to seek an exception to a development standard under clause 4.6 of the LEP.

3. LEGISLATIVE CONSIDERATIONS

This section of the Assessment Report identifies and comments on legislation identified as being relevant to the subject development, followed by required statutory considerations.

3.1 Local Government Act 1993

Matters related to the *Local Government Act 1993* include the application of Cobar Shire Council Development Servicing Plans for Water Supply and Sewerage 2013 under Section 64 and the need to obtain approvals under Section 68 for activities relevant to the proposed development.

The approvals required to be obtained under Section 68 include:

- Carry out sewerage work
- Carry out water supply work
- Carry out stormwater drainage work

The relevant Section 64 Water Supply and Sewerage charges have been calculated and included in the draft Conditions of Consent. Similarly, required activity approvals have been included as part of the recommended conditional consent.

3.2 Biodiversity Conservation Act 2016

Section 1.7 of the *EP & A Act 1979* gives effect to Part 7 of the *Biodiversity Conservation Act 2016*. Part 7 includes an obligation to determine whether a proposal is likely to significantly affect threatened species.

A development is considered to result in a significant impact if any of the following apply:

- It is carried out in a declared area of outstanding biodiversity value
- It is likely to significantly affect threatened species or ecological communities or their habitats according to the test of significance in Section 7.3
- If the Biodiversity Offsets Scheme applies and the proposed development causes the Biodiversity Offsets Scheme Threshold to be exceeded.

The existing site is not in an area of outstanding biodiversity value.

The proposed development site is fully developed with existing buildings and hard stand parking and manoeuvring areas. No significant vegetation or ground cover would be cleared to facilitate the project. On this basis, no significant impacts to threatened species or ecological communities or their habitats are anticipated as a result of the proposal.

3.3 Local Strategies / Studies / Plans

The Cobar Shire Local Strategic Planning Statement (adopted 28 May 2020) was prepared in accordance with Section 3.9 of the *EP & A Act 1979* and in part, gives effect to the Far West Regional Plan 2036.

The proposed development has been assessed relative to the above strategic documents and is considered to be consistent with the goals for the region and beneficial towards retaining Cobar as a healthy and cohesive community.

The *Cobar Local Infrastructure Contributions Plan 2012* adopted under the *EP & A Act 1979* is relevant to the proposed development and the Section 7.12 Levy has been calculated and included in a draft Condition of Consent.

3.4 Environmental Planning and Assessment Act 1979

When determining a development application, the consent authority must take into consideration the matters outlined in Section 4.15 (1) of the *EP & A Act 1979*. The matters that are relevant to the development application include the following:

- a) *The provisions of any environmental planning instrument, proposed instrument, development control plan, planning agreement and the regulations,*
- b) *The likely impacts of that development, including environmental impacts on both the natural and built environments and social and economic impacts in the locality,*
- c) *the suitability of the site for the development,*
- d) *any submissions made in accordance with this Act or the Regulations,*
- e) *the public interest.*

These matters are considered below:

Section 4.15 (1) (a) (i) – Provisions of Environmental Planning Instruments (EPI's)

The following EPI's are relevant to this application:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Industry and Employment) 2021
- State Environmental Planning Policy (Transport and Infrastructure) 2021
- Cobar Local Environmental Plan 2012.

A summary of the key matters for consideration arising from these State Environmental Planning Policies are outlined in Table 2 and considered in more detail below.

Table 2: Summary of Applicable State Environmental Planning Policies (SEPP)

EPI	MATTERS FOR CONSIDERATION	COMPLIES
SEPP (Resilience and Hazards) 2021	Section 4.6 – Contamination and remediation to be considered in determining development application	Yes
SEPP (Transport and Infrastructure) 2021	Section 3.22 – Concurrence of Regulatory Authority required for certain development.	Not applicable as facility complies with floor area and outdoor space requirements
	Section 3.23 – Requires a consent authority to take into consideration any applicable provisions of the Child Care Planning Guideline.	Yes
	Section 3.24 Additional matters for consideration by consent authorities.	Yes
	Section 3.25 – Floor space ratio.	Yes
	Section 3.26 – Non discretionary development	Yes

	standards.	
SEPP (Industry and Employment) 2021	Chapter 3 Advertising and Signage – does not apply to a “business identification sign” or a “building identification sign”, as defined.	Yes
Cobar LEP 2012	As per Section 2, “Permissibility” elsewhere in this Report.	Yes

State Environmental Planning Policy (Resilience and Hazards) 2021

The provisions of the above SEPP have been considered in the application. Section 4.6 of the SEPP requires consent authorities to consider whether the land is contaminated, and if the land is contaminated it is satisfied that the land is suitable in its contaminated state (or will be suitable after remediation) for the purpose for which the development is proposed to be carried out.

Based on the previous land use history of the site and on the findings of a desktop review and site inspection, it can be stated with a reasonable level of confidence that the site is unlikely to be contaminated. Therefore, the site is considered suitable for the proposed “Change of Use” to a Child Care Facility.

State Environmental Planning Policy (Transport and Infrastructure) 2021

The provisions of the above SEPP have been addressed in the Statement of Environmental Effects (SoEE), November 2022 which accompanied the development application. The SoEE includes an assessment of the Child Care Planning Guidelines 2017. This Assessment Report supports the analysis and compliance conclusions detailed in the above documents and highlights that Section 3.23 of the SEPP makes consideration of any applicable provisions of the Child Care Planning Guidelines a precondition to determining the subject development application.

Staff have also carried out an assessment of the Child Care Planning Guidelines both 2017 and 2021 versions and are satisfied that the proposed development complies with the relevant clauses of these Guidelines. In summary, it is considered that the proposal may be accepted as being consistent with the Transport and Infrastructure SEPP, including the precondition of considering any applicable provisions of the Child Care Planning Guidelines subject to conditions as included in the draft Conditions of Consent in respect of the following items in the Guidelines document:

- C1 and C24 in respect of the Noise Impact Assessment prepared by Reverb Acoustics Pty Ltd
- C38 in respect to the provision of a child safe fence to separate car parking areas from the building entrance and play areas.
- Section 4.8 in respect of an Emergency and Evacuation Plan being prepared post-approval and facilitated by way of a condition of consent.

State Environmental Planning Policy (Industry and Employment) 2021

The proposed pylon sign is defined as a “business identification sign”, which is defined in the LEP as:

“a business identification sign means a sign:

- a) *That indicates:*
 - i) *The name of the person or business, and*
 - ii) *The nature of the business carried on by the person at the premises or place at which the sign is displayed, and*
- b) *That may include the address of the premises or place and a logo or other symbol that identifies the business,*

but that does not contain any advertising relating to a person who does not carry out business at the premises or place”

Section 3.7 of the SEPP states that Part 3.3 of the SEPP does not apply to “business identification signs”. Therefore, consent is not required from Council for the proposed “business identification sign”

- **Section 4.15 (1) (a) (ii) – Provision of any Proposed Instruments**

This assessment has not identified any proposed Instrument that is or has been subject of public consultation and relevant to this proposal.

- **Section 4.15 (1) (a) (iii) – Provisions of any Development Control Plan**

There are no Development Control Plans in effect within the Cobar Shire Local Government Area.

- **Section 4.15 (1) (a) (iiia) – Planning Agreements under Section 7.4 of the EP and A Act**

There are no planning agreements or draft planning agreements that are of relevance to the proposed development.

- **Section 4.15 (1) (a) (iv) – Provisions of Regulations**

The *Environmental Planning and Assessment Regulation 2021* in Sections 61, 62, 63 and 64 prescribe matters relevant to this paragraph.

The requirement in Section 61 relating to demolition work and the need to consider the provisions of AS 2601-2001 has been complied with as it has been considered in the preparation of this Assessment Report.

The requirement in Section 64 provides that the consent authority must consider whether it is appropriate to require the existing building to be brought into total or partial conformity with the Building Code of Australia.

This can only be done if:

- a) *The proposed building work and previous building work together represent more than half of the total volume of the building, or*
- b) *The measures contained in the building are inadequate:*
 - i) *To protect persons using the building if there is a fire, or*
 - ii) *To facilitate the safe egress of persons using the building from the building, if there is a fire, or*
 - iii) *To restrict the spread of fire from the building to other buildings nearby.*

The proposed building works will require the applicant to obtain a Construction Certificate from either Council or a Private Registered Certifier. Any future Construction Certificate application must be accompanied by plans and specifications complying with the relevant provisions of the Building Code of Australia Volume One in force at the time of preparing the plans.

This will ensure that requirements such as access and egress to and from the building, fire safety matters and other relevant matters are all considered.

Sections 62 and 63 are not relevant to this proposal.

- **Section 4.15 (1) (b) – Likely Impacts of Development**

In considering the development application, the consent authority is to take into consideration matters as are of relevance to the proposed development, including the likely impacts of the development.

Environmental impacts on both the natural and built environment, and social and economic impacts in the locality are to be considered.

In this regard, potential impacts as relevant to the proposal and identified in applicable SEPP and LEP controls have been considered in the responses included above in this assessment.

The SoEE dated July 2022 originally submitted with the application contained quite a few inaccuracies which were brought to the attention of the Applicant.

Subsequently, an amended SoEE dated November 2022 was submitted to Council and satisfactorily addressed the initial inaccuracies. The amended SoEE was also accompanied by a Parking and Traffic Impact Assessment Report, a Noise Impact Assessment and a submission from the Applicant addressing the concerns made in the submissions to Council.

The SoEE has addressed the following impacts:

- Amenity Impacts for Neighbouring Properties
- Privacy Impacts
- Acoustic Impacts
- Traffic and Parking
- Social and Economic Impacts

This assessment has considered the identified impacts included in the SoEE and supports both comments and conclusions provided on behalf of the applicant.

The proposed provision of on-site parking is considered to be sufficient to effectively service the proposed development.

Construction work will generate some noise, however through a condition of consent limiting the working hours and available legislative provisions, such impact may be managed to avoid unreasonable impact in the neighbourhood. There will be no ongoing significant noise impacts expected as a result of the development.

The Noise Impact Assessment has concluded that the site is suitable for the proposal subject to certain recommendations which will be attached as draft Conditions of Consent. This will result in noise impacting on the Centre to be compliant with relevant noise criteria and no ongoing significant noise impacts expected.

It is considered that the proposed development will not result in any significant adverse social or economic impacts. The social and economic impact of the development is expected to be positive and will result in a material public benefit to the community by providing additional child care services.

Overall, the likely impacts of the proposal have been assessed as being reasonable and no matters of significant concern with the development have been identified.

- **Section 4.15 (1) (c) – Suitability of the Site**

The proposed development is an acceptable “fit” in the locality and the existing attributes of the site are considered to be conducive to the development. There are no legislative, physical, servicing or environmental constraints to prevent the development. Other child care facilities throughout NSW are located in residentially zoned areas and whilst other types of “changes of use” proposals were permissible for this building, it is felt that the proposed development is appropriate for the setting in that the existing building is sympathetic to the streetscape and compatible with existing neighbouring residential land uses.

The site is considered to be suitable for the proposed development.

- **Section 4.15 (1) (d) – Public Submissions**

A total of six (6) submissions from the public were received. Details of the community consultation undertaken is included in Section 4 of this report.

- **Section 4.15 (1) (e) – Public Interest**

No negative public interest matters have been identified in respect of this proposal. The proposal will strengthen and expand on existing child care services available within the community. The proposed development is considered to be in the public interest.

4. REFERRALS & SUBMISSIONS

No legislated agency concurrence or referral requirements were applicable in respect of this proposal.

4.1 Community Consultation

The application was on public exhibition from 5 September 2022 to 19 September 2022. The exhibition period included:

- Notice in the local newspaper (Cobar Weekly)
- Exhibition on Council's website with a hard copy of the application also made accessible at Council's Administration Building.
- Correspondence sent to neighbouring properties advising of the development application.

The following describes the make up of the seven (7) submissions.

- Two (2) written submissions from an adjoining property
- One (1) written submission from a property across the road. Submission withdrawn on consideration of additional information provided by the applicant.
- Four (4) pre-prepared submission forms submitted by individual residents.

A summary of the issues raised in the submission, together with staff comments are outlined in Table 3 and considered in more detail below.

Table 3: Summary of Submissions

ISSUES	COMMENTS
1. No notices dropped to residents in proximity of development	Formal notification letters were sent to 11 adjoining and adjacent property owners. Copies are held on the Development Application file.
2. Operating in a residential area	Many child care centres in NSW are in residential areas. It is a permissible land use in the R2 Low Density Residential Zone under <i>Cobar LEP 2012</i> .
3. Suitability of the site – not consistent with adjoining and adjacent development	It is a permissible land use in the R2 Low Density Residential Zone under the Land Use Table in the <i>Cobar LEP 2012</i> .
4. Noise concerns to adjoining and adjacent properties	The applicant was requested to submit a Noise Assessment Report which was received by Council on 1 December 2022.
5. Traffic and parking concerns in the area	The applicant was requested to submit a Traffic and Parking Study which was received by Council on 1 December 2022.
6. Increased traffic generation in the area	The applicant was requested to submit a Traffic and Parking Study, which was received by Council on 1 December 2022.
7. Alternative sites for the development	This is a matter for the applicant to consider
8. Privacy concerns	Proposed boundary fences on North, East and

	West boundaries will be 1.8m high construction of metal colorbond. This complies with C23 of the NSW Child Care Planning Guideline
9. Littering concerns	This is not a planning consideration as it is an operational issue and the responsibility of Centre Management. However, as appropriate condition will be attached within the draft Conditions of Consent.
10. Evidence that the facility is needed	This is a matter for the applicant to determine based on market research and investigation. A demand for a "land use" is not a planning consideration.
11. Decrease in property value	This is a subjective judgement and is not a planning consideration. No evidence has been submitted from a Licensed Land Valuer to justify this assertion.
12. Change of zoning	The R2 Low Density Residential Zone is not being changed as the proposal is permissible with consent in the Zone under the Land Use Table of the <i>Cobar LEP 2012</i> .

Specific comments in respect to each of the issues raised are as follows:

- **Issue 1**

Council's generally do not undertake a "letter drop" to neighbouring property owners of proposed developments. The normal means of notification are advertisements in newspapers circulating the area, websites, social media and formal notifications letters. Council has complied with its legislative community participation requirements of Division 2 of Schedule 1 under the *EP & A Act 1979*.

- **Issues 2 & 3**

Many child care centres in NSW are located in residential areas. This aside, the proposed development is a permissible land use in the R2 Low Density Residential Zone as per the Land Use Table in the *Cobar LEP 2012*. This means that Council can accept a Development Application for the proposed development and must determine the application on its individual merits as per the matters for consideration of Section 4.15 of the *EP & A Act 1979*.

- **Issue 4**

The Noise Assessment Report has concluded that the site is suitable for the development subject to certain recommendations. These recommendations will be attached as draft Conditions of Consent.

- **Issues 5 & 6**

The Parking and Traffic Impact Assessment Report has concluded that the subject development has no consequential impacts on the surrounding road network and parking demand. It also concluded that the operation of the Centre, based on its proposed shape and form is deemed acceptable in terms of traffic and transport matters.

- **Issue 7**

The issue of available "alternative sites" is a matter for the applicant to consider. Should other sites be identified, they would be subject to the same level of assessment as the proposed site.

- **Issue 8**

The proposal has been assessed in accordance with the relevant provisions of the NSW Child Care Planning Guideline 2017 and was found to be substantially in accordance with the relevant provisions.

- **Issue 9**

Potential littering concerns is not a planning consideration however, an appropriate amenity condition will be contained within the draft Conditions of Consent.

- **Issue 10**

The demand for the facility is a matter for the applicant to determine based on market research and investigation. It is not a planning consideration. Evidence obtained by staff as presented elsewhere in this report clearly indicates that there is a demand for such a facility.

In the “Ministers Forward” to the Child Care Planning Guideline 2017, the Minister for Planning, Anthony Roberts MP stated, inter alia:

“Population growth, particularly in families is also driving strong demand for child care. NSW currently has about 1.35 million children under 12 years of age and by 2036 that number will increase by more than 250,000 with a projected demand for 2,700 more long day care centres.

The community has told us it wants more affordable and flexible quality child care that is closer to homes and jobs”.

- **Issue 11**

An alleged decrease in property value as a result of the development is a subjective judgement that is not based on any evidence from a Licenced Land Valuer. It is not a planning consideration.

- **Issue 12**

There is no need for a Planning Proposal to change the existing R2 Low Density Residential Zone as the proposal is permissible with consent in the zone under the Land Use Table of the *Cobar LEP 2012*.

The applicant was provided with the opportunity to respond to the submissions, which were redacted of all personal details and a copy of the response is included in Attachment C.

5. CONCLUSION

In conclusion, it is submitted that the proposed development is worthy of support on the basis of being:

- Acceptable in terms of the matters for consideration listed in Section 4.15 of the *EP & A Act 1979*.
- The matters raised in the public submissions have been considered and concerns raised are not considered to be sufficient to warrant refusal of the application.
Note: Relevant control measures have been included as draft conditions to mitigate potential neighbourhood impacts.
- Permissible with consent under the Land Use Table of the *Cobar LEP 2012* for the R2 Low Density Residential Zone.
- Consistent with one of the “Objectives” of the R2 Low Density Residential Zone.
- Consistent with two of the “Aims” of the *Cobar LEP 2012*.
- Unlikely to cause any unreasonable impacts in the locality.
- Acceptable in terms of public interest considerations
- Proposed to be conducted on a site suitable for the development.

- Substantially in accordance with the relevant provisions of the Child Care Planning Guideline 2017 and 2021 published by NSW Planning and Environment.
- Consistent with the goals for the region and beneficial towards retaining Cobar as a healthy and cohesive community, of the Cobar Shire Local Strategic Planning Statement (adopted 28 May 2020) and Far West Regional Plan.

6. RECOMMENDATION

That Development Application No. 2022/LD-000031 for a Change of Use – Former Place of Public Worship to a Centre-Based Child Care Facility at Lot 72 in DP520071 being 57 Brough St, Cobar be APPROVED pursuant to Section 4.16 (1) (a) of the *EP & A Act 1979* subject to the draft conditions of consent attached to this Report at Attachment A.

The following attachments are provided:

- Annexure A: Draft Conditions of Consent
- Annexure B: Documents listed in Condition No. 1 of the draft Conditions of Consent
- Annexure C: Additional assessment documents referenced in Assessment Report.

Assessing Officer:



 Ralph Tambasco

15 FEBRUARY 2023
 Date

Reviewed by:



 Garry Ryman
Director of Planning & Environmental Services

15/02/2023
 Date

DRAFT CONDITIONS OF CONSENT

- 1) The development must be carried out in substantial accordance with the documents listed below, except where amended by other conditions of this consent.
 - Architectural Drawings prepared by RIZ Design Office, Project No: 2021175-Drawings:
 - Cover Page, dated July 2022
 - Site and Roof Plan, dated July 2022
 - Floor Plan – Existing, dated July 2022
 - Floor Plan – Demolition, dated July 2022
 - Floor Plan – Proposed, dated July 2022
 - Elevations, dated July 2022
 - Sections, dated July 2022
 - 3D Overall Views, dated July 2022
 - Stormwater Management, dated July 2022
 - Schedules Sedimentation, dated July 2022
 - 3D Exploded View, dated July 2022
 - Development Notes x 2, dated July 2022
 - Noise Impact assessment prepared by Reverb Acoustics Pty Ltd, dated November 2022, pages 1 - 15.
 - Parking and Traffic Impact Assessment Report prepared by Greys Australia Pty Ltd, dated 2 December 2022, pages 1 - 27.
 - Statement of Environmental Effects, dated November 2022, pages 1 - 30.
 - 2) In the event of any inconsistency between condition of this consent and documents referred to above the conditions of this consent prevail.
 - 3) No nuisance or interference with the amenity of the area is to be created by reason of any process or operation on the premises causing the emission of noise, dust, smoke or any polluted discharge whatsoever.
 - 4) Before the issue of a relevant Construction Certificate, a landscaping plan must be prepared for the site and accepted by the certifier. The plan is to:
 - take advantage of existing established plants on the site;
 - ensure that the landscaping does not obscure available sight distances for vehicles entering and leaving the premises;
 - be of a design that is readily maintained and suited to site conditions.
- A requirement to maintain landscaping of the site is a condition of the granting this grant and forms part of the ongoing operation of the premises.
- 5) That construction work on the site must only be carried out between the hours of 7.00am and 8.00pm, Monday to Saturday inclusive and 8.00am to 8.00pm on Sundays or Public Holidays.
 - 6) All external lighting is to be positioned and directed so as to prevent the intrusion of light to the adjoining premises.
 - 7) This development consent lapses unless building, engineering or construction work relating to the development is physically commenced on land to which the consent applies before the date that is five (5) years from when this consent operates.
 - 8) The applicant must implement all practicable measures to prevent or minimise harm to the environment during the construction and operation of the development.

- 9) The construction of the building, the subject of this development consent must not commence until:
- A Construction Certificate has been issued.
 - A Principal Certifier has been appointed.
 - A notice of intention to commence work has been issued to Council as the consent authority.

Note: This application must be made on the NSW Planning Portal. Council encourages you to initiate your Construction Certificate (CC) application via the relevant Development Application (DA) service, accessible from your NSW Planning Portal account. In doing so, this will enable your DA information to flow through to the nominated certificate application.

In addition, the CC case will be linked with the DA case allowing you to access required documents and other application information. In order to do this, you will need to click on 'Request Certificate' button from the DA application.

- 10) The building work subject to this consent must be carried out in accordance with the requirements of the Building Code of Australia.
- 11) All plumbing and drainage (water supply, sanitary plumbing and drainage, stormwater drainage and hot water supply) are to comply with the *Plumbing and Drainage Act 2011*.
- 12) Roof water is to be disposed of by piping to the street gutter.
- 13) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, identifying the following:
- the name, address and telephone number of the principal certifying authority (Cobar Shire Council) for the work,
 - showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - stating that unauthorised entry to the site is prohibited

Any such sign is to be maintained while the work is being carried out but must be removed when the work has been completed.

- 14) Appropriate site security fencing shall be erected to restrict unauthorised access to the construction work site.
- 15) It is a condition of this consent that the 7.12 levy must be paid to Council in accordance with the *Cobar Local Infrastructure Contributions Plan 2020 (The Plan)*. The levy payable is 1% of the estimated cost of carrying out the development.

The required levy payment for this development is \$2,297.51 and is subject to indexation in accordance with clause 2.18 of the Plan.

This levy must be paid prior to the release of a Construction Certificate.

- 16) Prior to the issue of a Construction Certificate, the following Section 64 Water and Sewer charges (pursuant to the *Local Government Act 1993* and Cobar Shire Councils *Development Servicing Plans for Water Supply and Sewerage 2013* must be paid. The charges are based on 0.6 Water Equivalent Tenements (ET's) and 0.10 Sewer Equivalent Tenements with a credit of 0.4 Water ET's and 0.63 Sewer ET's based on the original Church/Place of Public Worship land use.

For the 2022/2023 financial year, the charges are:

- $0.06 \times 33 \times \$1,385.00 = \$2,742.30 - \$1,108.00 \text{ (credit)} = \$1,634.30$ Water ET
- $0.10 \times 33 \times \$1,097.00 = \$3,620.10 - \$1,382.00 \text{ (credit)} = \$2,238.10$ Sewer ET

- 17) Demolition works must be carried out in accordance with AS 2601 - The demolition of structures.
- 18) All waste materials are to be removed from the site and deposited at the approved landfill site. Particular care and attention is to be paid to the disposal of any waste containing asbestos material.
- 19) Prior to the issue of an Occupation Certificate, the applicant must provide to Council written advice that the development has been finalised relative to the *Plumbing and Drainage Act 2011*, including:
 - Plumbing and drainage work notifications
 - Inspections of plumbing and drainage work, and
 - Supply of certificates and plans.
- 20) It is a condition of this consent that the core operating hours of the Child Care Facility are between 7am and 6pm, Monday to Friday with it being noted that staff may arrive before and depart after these hours for setup and cleaning purposes.
- 21) It is a condition of this consent that an Emergency and Evacuation Plan must be prepared prior to an Occupation Certificate being issued. The required plan needs to consider the following:
 - The mobility of children and how this is to be accommodated during an evacuation.
 - The location of a safe congregation/assembly point, away from the evacuated building, busy roads and other hazards.
 - How children will be supervised during the evacuation and at the congregation/assembly point relative to the capacity of the facility and governing child-to-staff ratios.
- 22) The development is to be provided with a child-safe fence to separate car parking areas from the building entrance and play areas.
- 23) Acoustic fences having a height of 1.8m above ground level are to be installed along the North, West and East boundaries of the Lot. Acceptable forms of construction include:
 - colourbond metal (minimum 0.6mm BMT);
 - lapped and capped timber;
 - hebel power panel; or
 - masonry.

No significant gaps are permitted in the fence. Other construction options are available providing the fence or wall is impervious and of equivalent or greater surface mass than the above options.

- 24) No acoustic treatment is required for air conditioning or exhaust plant that satisfies the following noise emission limits:

	LW, dB (A)	SPL at 1m dB(A)
Air Conditioning Plant	72	66
Exhaust Plant	68	62

- 25) If noise emissions from individual items of air conditioning plant exceed the limits shown in Condition 27 above, acoustic barriers must be constructed between the plant and surrounding dwellings. Barrier Construction should consist of either acoustisorb panels (available through Modular Walls) or an outer layer of one sheet of 12mm fibre cement sheeting (villaboard, hardiflex) or 19mm marine plywood. The inside (plant side) is to be lined with an absorbent foam to reduce reverberant sound (not fibrous infills) and must be a minimum of 300mm above the top of the plant item.

- 26) The contractor responsible for supplying and installing the plant is to submit evidence to Council that the installed plant meets the specified noise emission limits or that noise control included with the plant is effective in reducing the sound level to the specified limit.
- 27) The approval of the acoustic consultant is to be obtained once the selection and location of plant has been finalised and prior to installation.
- 28) The existing carpark area must be repaired and resealed as needed to facilitate the required line marking of the carpark in accordance with relevant industry standards.
- 29) It is a condition of this consent that the car park surface and line marking must be maintained as part of the ongoing operation of the premises.
- 30) Before the issue of a relevant Construction Certificate, a suitably qualified engineer must review the plans which relate to parking facilities and provide written evidence, to the certifier's satisfaction, that it complies with:
 - AS/NZS 2890.1 - 2004 (off-street car parking)
 - AS/NZS 2890.6 - 2009 (off-street parking for people with disabilities)
- 31) The development must be carried out in general accordance with relevant requirements of Managing Urban Stormwater: Soils and Construction (4th Edition, Landcom 2004), commonly referred to as the "Blue Book".
- 32) Before commencing work on site, the applicant must ensure a construction site management plan is prepared before it is provided to and approved by the certifier. The plan must include the following matters as relevant to the subject construction site:
 - Location and materials for protective fencing and hoardings to the site perimeter on the site
 - Provisions for public safety
 - Pedestrian and vehicular site access points and construction activity zones
 - Details of construction traffic management, including proposed truck movements to and from the site and estimated frequency of those movements, and measure to preserve pedestrian safety in the vicinity of the site protective measures for on-site tree preservation (including in accordance with AS 4970-2009 Protection of trees on developments sites and trees in adjoining public domain) (if applicable)
 - Details of any bulk earthworks to be carried out
 - Location of site storage areas and sheds
 - Equipment used to carry out all works
 - A garbage container with a tight-fitting lid
 - Dust, noise and vibration control measures
 - Location of temporary toilets or existing on-site toilets.

The applicant must ensure a copy of the approved construction site management plan is kept on-site at all times during construction.

- 33) The proposed free standing laundry and storage building must be located within the boundaries of Lot 72 and the certifier should require the applicant to engage the services of a registered surveyor to ensure compliance with this condition.

Reasons for the Imposition of the Conditions

- 1) To ensure the proposed development:
 - achieves the objects of the *EP & A Act 1979*;
 - complies with the provisions of all relevant environmental planning instruments.
- 2) To ensure the protection of the amenity of land adjoining and in the locality of the proposed development.
- 3) To minimise any potential adverse environmental, social or economic impacts of the proposed development.
- 4) To ensure the development does not conflict with the public interest.
- 5) To ensure the protection of public and environmental health.
- 6) To provide a safe and healthy environment for the occupiers of the premises.

DOCUMENTS LISTED IN DRAFT CONDITON No. 1

- 1) Noise Impact Assessment -- November 2022 Report No. 22-2811-R1 prepared by Reverb Acoustics Pty Ltd.
- 2) Parking and Traffic Impact Assessment Report, dated 2 December 2022 prepared by Greys Australia Pty Ltd.
- 3) Architectural Plans prepared by R12 Design Office, dated July 2022.
- 4) Statement of Environmental Effects (SoEE) dated November 2022.

Noise Impact Assessment

November 2022 Report No. 22-2811-R1 prepared by Reverb Acoustics Pty Ltd.

**Noise Impact Assessment
Child Care Centre
57 Brough Street
Cobar NSW**

November 2022

**Prepared for Little Kindy Pty Ltd
Report No. 22-2811-R1**

Building Acoustics-Council/EPA Submissions-Modelling-Compliance-Certification

REVERB ACOUSTICS PTY LTD
ABN 26 142 127 768 ACN 142 127 768
PO Box 252 BELMONT NSW 2280
Telephone: (02) 4947 9980
email: sbradyreverb@gmail.com

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1 INTRODUCTION

Reverb Acoustics has been commissioned to conduct a noise impact assessment for a proposed Childcare Centre at 57 Brough Street, Cobar. The purpose of this assessment is to theoretically determine the noise impact passing road traffic may have on operation of the centre. Further assessment has been undertaken to determine the noise impact the Centre may have on nearby sensitive receivers.

The assessment was requested by Little Kindy Pty Ltd to form part of and in support of a Development Application to Cobar Shire Council (CSC) and to ensure any noise control measures are incorporated into the design of the centre.

2 TECHNICAL REFERENCE / DOCUMENTS

Bies, D.A. and Hansen, C.H. (1996). *Engineering Noise Control: Theory and Practice*. London, E & F.N. Spon.

Gréhant B. (1996). *Acoustics in Buildings*. Thomas Telford Publishing.

Templeton, D. (1997). *Acoustics in the Built Environment*. Reed Education and Professional Publishing Ltd.

AS 2107-2016 “*Acoustics-Recommended Design Sound Levels and Reverberation Times for Building Interiors*”.

AS 1276.1-1999 “*Acoustics – Rating of sound insulation in buildings and of building elements. Part 1: Airborne sound insulation*”.

NSW Environment Protection Authority (2017). *NSW Road Noise Policy*

NSW Environment Protection Authority (2017). *Noise Policy for Industry*

Association of Australian Acoustic Consultant’s (2020) *Guideline for Child Care Centre Acoustic Assessment. Version 3*.

Plans supplied by RZ Design Office Pty Ltd, Rev B, dated November 2022. Note that variations from the design supplied to us may affect the acoustic recommendations.

A Glossary of commonly used acoustical terms is presented in Appendix A to aid the reader in understanding the Report.

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3 DESCRIPTION OF PROPOSAL

Little Kindy Pty Ltd seeks Development Consent for a new child care centre at 57 Brough Street, Cobar. The development will consist of playrooms, a kitchen, offices, amenities, and an outdoor play area.

Potential noise sources associated with the centre that may impact upon nearby neighbours include raised voices, crying, laughter, etc, from children in the playrooms and outdoor play area, and mechanical plant (air conditioning, kitchen exhaust). Potential noise sources that may impact upon the centre include passing road traffic on Brough Street.

Proposed operating hours for the centre are 7am-6pm Monday to Friday.

The assessment includes measurement of the existing acoustic environment at the site to provide baseline data and enable establishment of noise assessment criteria. Plans supplied by RZ Design Office Pty Ltd show the layout of the site and the location of nearby land uses. Nearest neighbours identified during our site visits are shown on Figure 1.

Figure 1: Site Plan



4 EXISTING ACOUSTIC ENVIRONMENT

A background and ambient noise level survey was conducted using a Class 1, Svan 977 environmental noise logging monitor, installed along the west site boundary, approximately 25 metres from the near lane of traffic on Brough Street (See Figure 1). The selected location is representative of the acoustic environment in the receiver area and is considered an acceptable location for determination of the background noise in accordance with Appendix B of the NSW Environment Protection Authority's (EPA's) – Noise Policy for Industry (NPfI).

Noise levels were continuously monitored from 17 October to 18 October 2022, to determine the existing background and ambient noise levels for the area. The instrument was programmed to accumulate environmental noise data continuously and store results in internal memory. The data were then analysed to determine 15 minute Leq and statistical noise levels using dedicated software supplied with the instrument. The instrument was calibrated with a Brüel and Kjaer 4230 sound level calibrator producing 94dB at 1kHz before and after the monitoring period, as part of the instrument's programming and downloading procedure, and showed an error less than 0.5dB.

Table 1 shows a summary of our noise survey, including the Assessment Background Levels (ABL's), for the day, evening and night periods. From these ABL's the Rating Background Level (RBL) has been calculated, according to the procedures described in the EPA's NPfI and by following the procedures and guidelines detailed in Australian Standard AS1055-1997, "Acoustics - Description and Measurement of Environmental Noise, Part 1 General Procedures". A complete set of logger results is not shown, but available on request.

Table 1: Summary of Noise Logger Results, dB(A)

Time Period	Background L90			Ambient Leq		
	Day 7am-6pm	Evening 6pm-10pm	Night 10pm-7am	Day 7am-6pm	Evening 6pm-10pm	Night 10pm-7am
RBL	39	37	27	--	--	--
LAeq	--	--	--	54	53	49

Additional attended background noise level measurements were taken at south facade of the existing building. Table 2 shows a summary of monitoring results at this location.

Table 2: Measured Road Traffic Noise Levels, dB(A)

Time	Date	Lmax	Leq
08:30	17/10/22	46.5	54.4
17:55	17/10/22	49.0	54.0

Site, weather and measuring conditions were all satisfactory during the noise survey. We therefore see no serious reason to modify the results because of influencing factors related to the site, weather or our measuring techniques.

5 CRITERIA

5.1 Road Traffic (Impact on Child Care Centre)

Section 5 of the Association of Australian Acoustic Consultant's (AAAC's) document, *Guideline for Child Care Centre Acoustic Assessment. Version 3*, states the following:

For proposals that are located within 60 metres of an arterial road, railway line, industry or win close proximity to an airport, a noise intrusion assessment should be submitted with the development application.

- The LAeq,1hr from road, rail traffic or industry at any location within the outdoor play or activity area during the hours when the Centre is operating shall not exceed **55dB(A)**.
- The LAeq,1hr from road, rail traffic or industry at any location within the indoor play or sleeping areas during the hours when the Centre is operating shall be capable (i.e. with doors and/or windows closed) of achieving **40dB(A)** within indoor activity areas and **35dB(A)** in sleeping areas.

5.2 Site Noise (Impact from Centre on Neighbours)

5.2.1 Outdoor Play Areas

(Impact from Child Care Centre on Residential Receivers)

Section 3 of the AAAC's document, *Guideline for Child Care Centre Acoustic Assessment. Version 3*, specifies a base criterion of **45dB(A) ,Leq 15 minute** for the assessment of outdoor play areas where the background noise level is less than 40dB(A),L90.

5.2.2 Indoor Play Areas, Mechanical Plant, Pick-Up and Drop-Off (Impact from Child Care Centre on Residential Receivers)

Section 3 of the AAAC's document, *Guideline for Child Care Centre Acoustic Assessment. Version 3*, specifies the following limits for impacts from indoor play areas, mechanical plant and pick-up drop-off of children, at residential locations:

The cumulative Leq,15 minute noise emission level resulting from the use of the child care centre, with the exception of outdoor play discussed above, shall not exceed the background noise level by more than 5dB at the assessment location as defined above. Based on a measured background noise levels, assessment criteria are as follows:

Day **44dB LAeq,15 Minute** 7am to 6pm Mon to Sat or 8am to 6pm Sun and Pub Hol.

NOTE: Section 2.6 of the NPfl states that assessment should be to the most affected point on or within the residential property boundary, or if that is more than 30m from the residence, at the most affected point within 30m of the residence.

5.3 Criteria Summary

Various criteria are described in previous Sections of this report for external noise sources such as traffic on public roads, activities associated with commercial developments and people on city streets. The adopted criteria for this assessment are summarised below:

Impact on Neighbours:

Outdoor Play:	45dB(A),Leq DAY (external)
Indoor Play, Mech Plant & Site Traffic:	44dB(A),Leq DAY (external)

Impact on Centre:

Road Traffic	55dB(A),Leq DAY (outdoor play areas)
"	40/35dB(A),Leq DAY (indoor areas)

6 METHODOLOGY

6.1 Road Traffic (Impact from Passing Traffic on Child Care)

Applicable noise level metrics are those calculated from measurements at the site. A +2.5dB(A) facade adjustment does not need to be applied, as measurements were conducted within 1 metre of a reflective surface. Received traffic noise for 2022 is calculated as follows:

$$\text{Measured noise level} + \text{facade correction} = \text{received noise 2022}$$

Applying the above formula gives:

$$\text{Day} \quad 54.4\text{dB(A)} + 0.0\text{dB(A)} = 54.4\text{dB(A) Leq} \quad 7\text{am} - 10\text{pm}$$

No nearby RMS traffic stations could be identified near the development, therefore an AADT of 8,000 vehicles has been adopted for assessment purposes along Brough Street. A figure of 5% heavy vehicles has also been adopted. The AADT for the year 2022 was applied to our computer programme, based on the EPA and RMS approved CoRTN Method of Traffic Noise Prediction, and noise levels were calculated to the theoretical facades of the centre. The CoRTN values are merely arbitrary, as calculated noise levels are adjusted to correlate with our measured peak external noise levels, with the intention is to provide a (theoretical) means of determining the degree of noise control required for a particular building component.

Equivalent continuous noise levels were calculated for each traffic lane separately on the basis that the noise source (i.e. the traffic) was located in approximately the centre of the respective lane. In particular, this gives an accurate estimation of the location of bus and truck and bus exhausts which are generally located on the right-hand side, being approximately at the same point for both traffic directions.

Our calculations have been modified to compensate for the differing acoustic centres of cars and heavy vehicles, by modelling each separately and logarithmically adding received noise levels.

Once the traffic noise level at the outer face of each building element was determined, the required R_w was calculated in accordance with the mathematical procedure given in AS3671-1989 "Acoustics - Road traffic noise intrusion - Building siting and construction". This procedure is based on the required internal noise level shown in Section 5.1.

6.2 Site Activities (Impact from Centre on Neighbours)

Future noise sources on the site cannot be measured at this time, consequently typical noise levels from child care centres have been sourced from our library of technical data. This library has been accumulated from measurements taken in many similar situations on other sites, and allows theoretical predictions of future noise impacts at each receiver and recommendations concerning noise control measures to be incorporated in the design of the site.

The calculated acoustic sound power (dB re 1pW) for all likely noise sources on the site is then theoretically propagated to the receiver, taking into account attenuation due to distance, topographical features and any intervening barriers. Atmospheric absorption, directivity and ground absorption have been ignored in the calculations. Where noise impacts above the criteria are identified, suitable noise control measures are implemented and reassessed to demonstrate satisfactory received noise levels in the residential area.

6.3 Mechanical Plant (Impact from Centre on Neighbours)

Selection of mechanical plant has not been finalised at this stage. We have therefore sourced manufacturers' noise emission data for similar sized developments. Air conditioning plant will be located at ground level along the east façade of the building. We have also assumed a typical V53 vertical exhaust fan with the outlet located on the roof above the kitchen. The Sound Power Level, Lw dB(A), of anticipated mechanical plant is shown in the following Tables. The sound power of the proposed plant is propagated to residential locations taking into account sound intensity losses due to geometric spreading, with additional minor losses such as molecular absorption, directivity and ground absorption ignored in the calculations. As a result, predicted received noise levels are expected to slightly overstate actual received levels and thus provide a measure of conservatism. Comparison of the predicted noise levels produced by the plant and the allowable level are compared to give the noise impact at the receiver.

Table 3: Lw Typical Split-System Air Conditioning Condenser x2

Item	dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Plant	72	44	53	60	62	63	70	52	41

Table 4: Lw of typical Kitchen Exhaust

Item	dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Plant	74	39	45	70	69	67	64	51	31

7 ANALYSIS

7.1 Road Traffic Noise (Impact on Development)

Shown below is a sample calculation detailing the procedure followed in order to calculate required glazing along the west façade of the play area. The traffic noise level at the outer face of the glazing is calculated as follows,

Table 5: Sample Calculation - Traffic Impact at Level 1 - 2 Year Play Room

Propagation calculation	dB(A)	Octave band Sound Pressure Levels, dB(A)							
		63	125	250	500	1k	2k	4k	8k
Facade traffic noise, Leq	54	34	42	43	47	49	46	40	32
Architectural shielding ¹		0	0	0	0	0	0	0	0
Directivity/distance Correction ²		-2	-2	-2	-2	-2	-2	-2	-2
Traffic noise at window	52	32	40	41	45	47	44	38	30

1. Intervening structure. 2. Includes angle of incidence correction.

As the criterion for the Play Room is 40dB(A), see Section 4.1, the required traffic noise reduction is $TNR = 52 - 40 = 25\text{dB(A)}$. The traffic noise attenuation, TNA , required of the glazing is calculated according to the equation given in Clause 3.4.2.6 of AS 3671,

$$TNA = TNR + 10\log_{10}[(S/S_f) \times 3/h \times 2T_{60} \times C] \quad \text{equation 1}$$

where

- S = Surface area of glazing = 9.8m^2
- S_f = Surface area of floor = 170m^2
- h = Ceiling height, assumed to be 2.6m
- T_{60} = Reverberation time, s
- C = No. of components = 5 (glazing, walls, roof)

Using the values listed above gives

$$TNA = 9\text{dB(A)} \text{ for the glazing}$$

Substituting this value into the equation given in Clause 3.4.3.1 of AS3671 gives

$$Rw = TNA + 6 \approx 15$$

Based on the above calculations, glazing to the main play area must have a tested $Rw15$ acoustic rating. Based on laboratory performances data, this would consist of standard glazing. Therefore, no special acoustic modifications to the building construction will be required to comply with the criteria.

Note that road traffic noise levels are also below the 55dB(A), Leq criteria in the outdoor area and no special acoustic features will be required for the outdoor area fencing on the south facade.

7.2 Outdoor Play Areas (Impact from Centre on Neighbours)

We understand that a total of 28 children may be at the centre. Based on Sound Power Levels (Lw's) detailed in the AAAC's document *Guideline for Child Care Centre Acoustic Assessment, Version 3*, the following noise levels apply for children in the outdoor area:

Number of Children	Age Group	Lw Children x10 dB(A)	Lw Children Total dB(A)
8	2-3 years	85	84
20	3-5 years	87	90

Assuming an even mix of all ages, a noise level of 88dB(A) may occur for a worst-case situation. To create our acoustic model, we have assumed a worst-case situation where all children are using the outdoor area at the same time.

Technical papers submitted to the Proceedings of Acoustics in relation to child care centres in NSW revealed that noise levels from children in outdoor play areas reduced by up to 9dB(A) when averaged over a 15 minute assessment period. Based on the above figures this equates to an average noise level of 79dB(A),Leq for the outdoor play area.

The sources were placed randomly over the available areas and the resulting sound pressure level was propagated to nearest residences using an equation¹ giving the sound field due to an incoherent plane radiator. The following Table shows calculations to predict the noise impact at nearest residential boundaries. Allowances have been made for inclusion of a 1200mm high acoustic barrier at the perimeter of the outdoor area.

Table 6: Noise Impact from Children in Outdoor Area, dB(A),Leq. Propagated to Nearest Residences

Location/Activity	Receivers
	Nearest Residences South/West
Average Lw dB(A)	79
Barrier loss ¹	8
Received	42
Criteria (day)	45dB(A),Leq
Impact	-

1. Intervening structures.

As can be seen by the results in the above Table, noise from children in the outdoor play area is predicted to be compliant with the criteria at nearest receivers. Generally, noise from within the centre building is not expected to create any undue annoyance to nearby residents, with the exception of the play rooms.

Previous noise studies conducted by Reverb Acoustics at child care centres reveal that children have the potential to create high noise levels. Crying from younger children may also occur, although separate enclosed cot rooms are used to minimise disruption. In the unlikely event that complaints should arise, we recommend closing windows/doors facing towards the residence of concern. During warmer months this may create ventilation problems. We therefore suggest installing ceiling fans to supplement air conditioning. It should be acknowledged that children will be put down for sleep on an individual (on demand) basis, thus reducing the chance of several children crying at the same time.

¹ Equation (5.104), DA Bies and CH Hansen, *Engineering Noise Control*, E & FN Spon, 1996.

7.3 Mechanical Plant (Impact from Centre on Neighbours)

Received noise produced by anticipated mechanical plant associated with the centre is shown in Tables 7 and 8, propagated to nearest receivers. Table 9 shows the results of the combined noise impact from all mechanical plant at nearest receivers.

**Table 7: Calculated SPL, Air Conditioning Plant – East Façade Ground Level
 Propagated to Nearest Receivers**

Item	dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Lw, plant (x2)	72	44	53	60	62	63	70	52	41
Distance loss, 10m		-28	-28	-28	-28	-28	-28	-28	-28
Barrier loss ¹		-5	-5	-5	-5	-6	-6	-7	-9
SPL at receiver	38	11	20	27	29	29	36	17	4
Criteria (day)	44								
Impact	0								

1. Fence 1800mm above FGL on boundary.

**Table 8: Calculated SPL, Kitchen Exhaust Centre Roof
 Propagated to Nearest Receivers**

Item	dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Lw, exhaust fan	74	39	45	70	69	67	64	51	31
Distance loss, 10m		-28	-28	-28	-28	-28	-28	-28	-28
Barrier loss ¹		-6	-7	-8	-10	-12	-15	-18	-21
SPL at receiver	36	5	10	34	31	27	21	5	-
Criteria (day)	51								
Impact	0								

1. Barrier at perimeter of exhaust.

**Table 9: Combined Noise Impact – Mechanical Plant
 Propagated to Nearest Residential Receivers**

Noise Path	dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Air conditioning	38	11	20	27	29	29	36	17	4
Kitchen exhaust	36	5	10	34	31	27	21	5	-
Combined	40	12	20	35	33	31	36	17	4
Criteria (day)	44								
Impact	0								

Results in the above Tables show that noise emissions from anticipated mechanical plant will be compliant with the EPA (and therefore Council) criteria at nearest residences, based on typical source noise levels. See Section 8 for further recommendations to ensure compliance

8 SUMMARY OF RECOMMENDED NOISE CONTROL

8.1 Proposed operating hours of 7am-6pm are acceptable.

8.2 Acoustic fences must be erected at the following locations:

<i>Location</i>	<i>Height Above FGL</i>
West Boundary	1800mm
North Boundary	1800mm
East Boundary	1800mm
South Boundary	NIL

Acceptable forms of construction include Colorbond (minimum 0.6mm BMT), lapped and capped timber, Hebel Powerpanel, masonry. No significant gaps should remain in the fence to allow the passage of sound below the recommended height. Other construction options are available if desired, providing the fence or wall is impervious and of equivalent or greater surface mass than the above options.

8.3 No acoustic treatment is required for air conditioning or exhaust plant that satisfies the following noise emission limits:

	<i>L_w, dB(A)</i>	<i>SPL at 1m dB(A)</i>
Air conditioning Plant	72	66
Exhaust plant	68	62

8.4 If noise emissions from individual items of air conditioning plant exceed the limits shown in Item 8.3 above acoustic barriers must be constructed between the plant and residences. Barrier construction should consist of *either* Acoustisorb panels (available through Modular Walls) *or* an outer layer of one sheet of 12mm fibre cement sheeting (Villaboard, Hardiflex), or 19mm marine plywood. The inside (plant side) is to be lined with an absorbent foam to reduce reverberant sound (fibrous infills are not recommended as they will deteriorate if wet), and must be minimum 300mm above the top of the plant item.

8.5 If noise emissions from exhaust plant exceed the limits shown in Item 8.3 above acoustic barriers must be constructed to enclose the fan discharge. Barriers must fully enclose at least three sides towards any residence. In our experience, a more efficient and structurally secure barrier is one that encloses all four sides. The barrier must extend at least 600mm above and below the fan centre and/or the discharge outlet and must be no further than 1200mm from the edges of the exhaust. Barrier construction should consist of *either* Acoustisorb panels (available through Modular Walls) *or* an outer layer of one sheet of 12mm fibre cement sheeting (Villaboard, Hardiflex), or 19mm marine plywood. The inside (plant side) is to be lined with an absorbent foam to reduce reverberant sound (fibrous infills are not recommended as they will deteriorate if wet), Note that variations to barrier construction or alternate materials are not permitted without approval from the acoustical consultant. Barrier construction is based solely on acoustic issues. Visual, wind load issues must be considered and designed by appropriately qualified engineers.

8.6 The contractor responsible for supplying and installing the plant should be asked to supply evidence that installed plant meets specified noise emission limits, or that noise control included with the plant is effective in reducing the sound level to the specified limit. Once selection and location of plant has been finalised, details should be forwarded to the acoustic consultant for approval.

9 CONCLUSION

A noise impact assessment for a proposed Childcare Centre at 57 Brough Street, Cobar, has been completed. The assessment has shown that the site is suitable for the intended purpose, subject to our recommendations. With these or equivalent measures in place, noise impacting on the centre is predicted to be compliant with the criteria.

An assessment of external noise impacting on the development and nearest neighbours has resulted in the compilation of required acoustic modifications and strategies detailed in Section 8 to meet the requirements of the AAAC and EPA.

In conclusion, providing the recommendations given in this report are implemented, external noise impacts will comply with the requirements of the EPA, AAAC and CSC within habitable spaces of the proposed development. We therefore see no acoustic reason why the proposal should be denied.

Steve Brady M.A.S.A. A.A.A.S.
Principal Consultant

APPENDIX A

Definition of Acoustic Terms

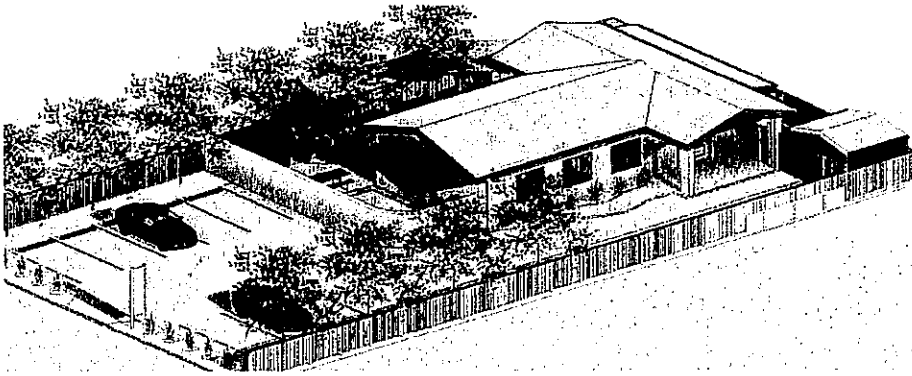
Definition of Acoustic Terms

Term	Definition
dB(A)	A unit of measurement in decibels (A), of sound pressure level which has its frequency characteristics modified by a filter ("A-weighted") so as to more closely approximate the frequency response of the human ear.
ABL	<i>Assessment Background Level</i> – A single figure representing each individual assessment period (day, evening, night). Determined as the L90 of the L90's for each separate period.
RBL	<i>Rating Background Level</i> – The overall single figure background level for each assessment period (day, evening, night) over the entire monitoring period.
Leq	Equivalent Continuous Noise Level - which, lasting for as long as a given noise event has the same amount of acoustic energy as the given event.
L90	The noise level which is equalled or exceeded for 90% of the measurement period. An indicator of the mean minimum noise level, and is used in Australia as the descriptor for background or ambient noise (usually in dBA).
L10	The noise level which is equalled or exceeded for 10% of the measurement period. L ₁₀ is an indicator of the mean maximum noise level, and was previously used in Australia as the descriptor for intrusive noise (usually in dBA).

Time

Parking and Traffic Impact Assessment Report

2 December 2022 prepared by Greys Australia Pty Ltd.



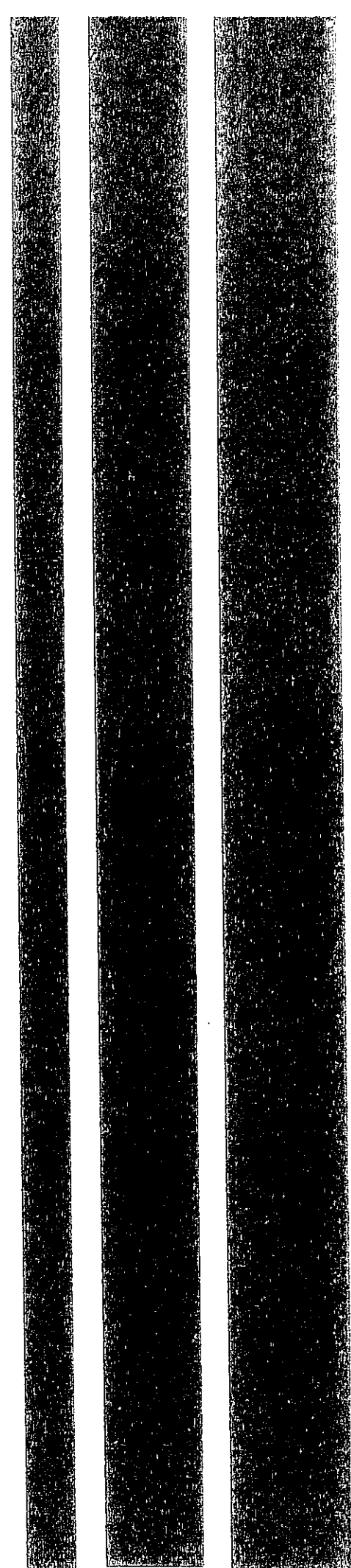
Little Kindy Childcare Centre -Brough Street Cobar

Parking & Traffic Impact Assessment Report

P2006

Prepared for
Little Kindy Pty Ltd

2 December 2022



Contact Information

Greys Australia Pty Ltd

ABN 62 609 921 593

404 7-11 Smith Street
Ryde NSW 2112

Telephone: (02) 9809 2299
Mobile: 0456 789 047

alex@greysconsulting.com.au
www.greysconsulting.com.au

Author(s): A.Grey
Traffic Engineer

Approved By: *Alex Grey*
A.Grey
Principal Traffic Engineer

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Appendix A Final Architectural Plans

1 Introduction

1.1 Background

Greys Consulting has been engaged by Little Kindy Pty Ltd to prepare a Parking and Traffic Impact Assessment (TIA) to support operator's application for a proposed childcare centre in Cobar. The proposed childcare centre is located at 57 Brough Street, Cobar, NSW.

Plans of the proposed development have been provided by the client and include:

- Proposed and Existing Site & Floor Plan
- Elevations
- Sections

The subject site is shown in Figure 1-1.

Figure 1-1 Subject Site Area



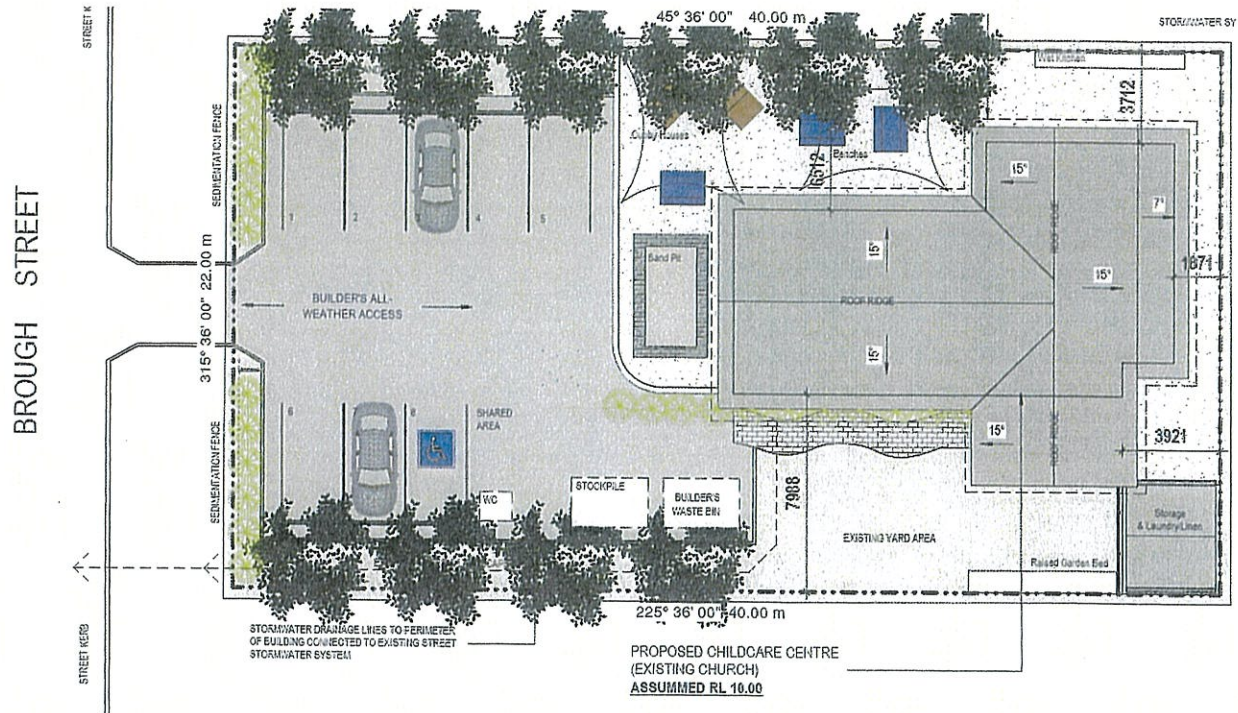
Source: Adapted from Google Maps

1.2 Proposed Development

The proposed development is a 28-place childcare centre. The childcare centre is proposed to be constructed replacing the existing place of worship. The proposed childcare centre would operate Monday to Friday from 7.00 am to 6.00 pm during 48 weeks of the year.

The proposed plans show one access driveways via Brough Street and visitor and staff parking is supplied in front of the site as shown in Figure 1.2. The subject site currently is a former public worship.

Figure 1-2 2D Plan of the Site



Source: Riz Design Office Plans

1.3 Scope of Work

The following works have been undertaken as part of this study:

The scope for assessment includes:

- summary of the site's traffic generation and any impacts on the surrounding intersections;
- assessment of the site access location and form in accordance with Cobarr Shire Council requirements;
- assessment of the car and bicycle parking provisions in accordance with Cobarr Shire Council requirements;
- assessment of the internal road and parking layout in accordance with AS2890 and Cobarr Shire Council requirements;
- a review of active transport amenity including on-site provisions for cyclists and connectivity to surrounding pathway networks; and
- a review of public transport accessibility and facilities within proximity to the site.

1.4 Reference Documents

The following documents have been reviewed and referenced in this report:

- > Guide to Traffic Generating Developments (RTA, 2002);
- > RMS guideline on Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepare by TEF Consulting
- > AS_NZS2890.1-2004 Parking Facilities-Off Street Car Parking.

2 Existing Conditions

2.1 Surrounding Road Network

Details of the immediate road network surrounding the proposed development site is shown in Table 2.1.

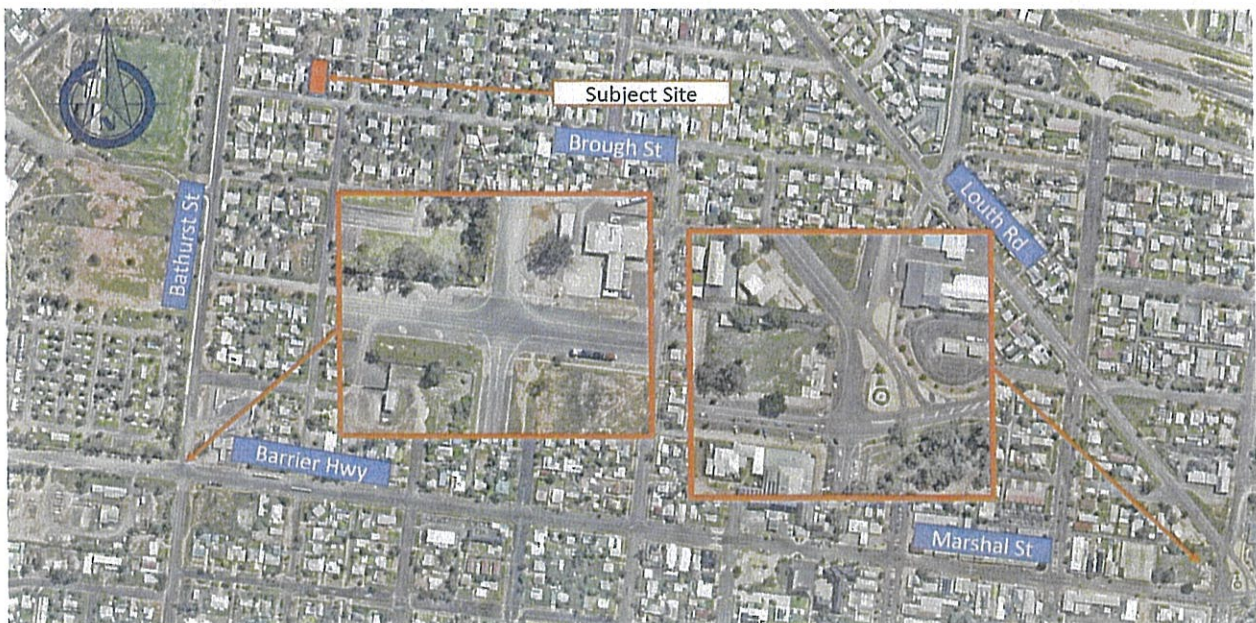
Table 2-1 Surrounding Road Network

Road Name	Jurisdiction	Hierarchy	No. Lanes	Divided	Speed Limit	Comments
Barrier Hwy	TfNSW	Arterial Road	2	Yes	50km/h	<i>Barrier Highway is a highway in South Australia[3] and New South Wales, and is designated part of route A32. an area of moderately high ground in the far west of New South Wales, through which the highway traverses.</i>
Brough Street	Cobar Shire Council	Local Road	2	No	50km/h	<i>Local Road that services a residential catchment and provide access to A32 Route</i>
Bathurst Street	Cobar Shire Council	Local Road	2	No	50km/h	<i>Local Road that services a residential catchment and provide access to A32 Route</i>

2.1.2 Key Intersections

Two key intersections are located in proximity to the proposed childcare; the intersections of Bathurst Street /Barrier Highway and Louth Road/Barrier Highway. Both intersections are give-way priority controlled. The intersections are shown in Figure 2.1 below and it is situated within a low speed residential environment with a flat geometry across the intersection with sufficient sightlines. There are no provisions for turn treatments as expected for a local street at this level.

Figure 2-1 Intersections Bathurst Street /Barrier Highway and Louth Road/Barrier Highway



Source: Adapted from Nearmaps

The proposed development is located within a low-density residential land use

2.2 Public Transport

2.2.1 Bus Routes

There are no bus routes currently providing public transport services at the vicinity of the childcare centre,

2.3 Pedestrian Infrastructure

Connected footpaths with proper access and connectivity is not provided on both sides of Brough Street in front of the proposed development. An unpaved footpath is available on the eastern side of Bathurst Street.

2.4 Existing Car Parking Context

2.4.1 Car Parking Restrictions

Brough Street at the vicinity of the development has no parking restriction on both sides of the road. Due to available flat nature strip with sufficient room for parking and residential nature of the surrounding land use, plenty of parking spaces will be always available. The "No restriction" strategy looks appropriate according to the low turnover of parking manoeuvres in the neighbourhood due to the surrounding current residential land use.

3 Parking Assessment

This section investigates the proposed parking provisions against the statutory requirements applicable for the subject development. A car park design review will not be required as the off-street parking is already being used by the staff and parents.

3.1 Proposed Car Parking Supply

The parking rates were obtained from “Roads & Maritime Services Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepare by TEF Consulting”. The parking requirement for childcare centres has not been identified in Cobar Shire Council. The car parking rates adopted to calculate the amount of car parking spaces required are tabulated in **Table 3-1** below.

The childcare centre is proposed to accommodate 28 children. Therefore, in accordance with “Roads & Maritime Services Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepare by TEF Consulting”, car Parking requirements are as following:

Figure 3-1 Roads and Maritime Validation Parking Analysis Report for Childcares Summary Table

Variable range	Valid for	Variable	
		X ₁ = Total GFA, m ²	X ₂ = Number of licensed places for children
		165 m ² to 1041 m ²	20-90
Y = Peak parking accumulation	LDCC / PS / OC	No reliable relationship has been found	Y = 0.0007 X ₂ ² + 0.0508 X ₂ + 4.9144 R ² =0.638
Y = Peak parking accumulation	LDCC / PS	Y = -9E-06 X ₁ ² + 0.0227 X ₁ + 2.0819 R ² =0.9031	Y = -0.0003 X ₂ ² + 0.1613 X ₂ + 2.4686 R ² =0.7775

Application of the above parking requirements to the various components outlined in the development proposal yields an off-street car parking requirement of 8 car parking spaces as set out in the table below:

Table 3-1 Proposed Car Parking Supply

Category	City of Cobargo	City of Cobargo Requirement
Staff, Visitor Parking & Pick up /set-down	7	NA
Total Spaces Required	7	
Total Spaces Required (Rounded)	7	
Spaces Provided	8 (including 1 PWD Space)	

As summarised in the table above the development requires a total of 7 (seven) car parking spaces (for childcare centre at a capacity of 28 children). The proposed layout provides 8 (eight) parking spaces inclusive of one PWD spaces.

3.2 Car Park Layout

There is a car park in the proposed development which provides a combined Entry and Exit access driveways to Brough Street. The proposed off-street parking provides eight parking spaces for the staff and visitors and parents. The proposed parking layout is depicted in Figure 3-2.

3.2.1 Car Park Dimensions

The dimensions provided for the car park are shown in Table 3-2:

Table 3-2 Car Parking Dimensions

Parking Space Width	Parking Space Length	Parking Aisle Width (two-way)
2.46m	5.4m	7.1m

The car park dimensions and column placement for the design plans provided to Greys Consulting have been confirmed to be in accordance to AS 2890.1-2004.

In summary, the proposed parking facilities satisfy the relevant requirements specified in Australian Standards and it is therefore concluded that the proposed development will not have any unacceptable parking implications.

3.2.2 Access Driveway and Internal Circulation

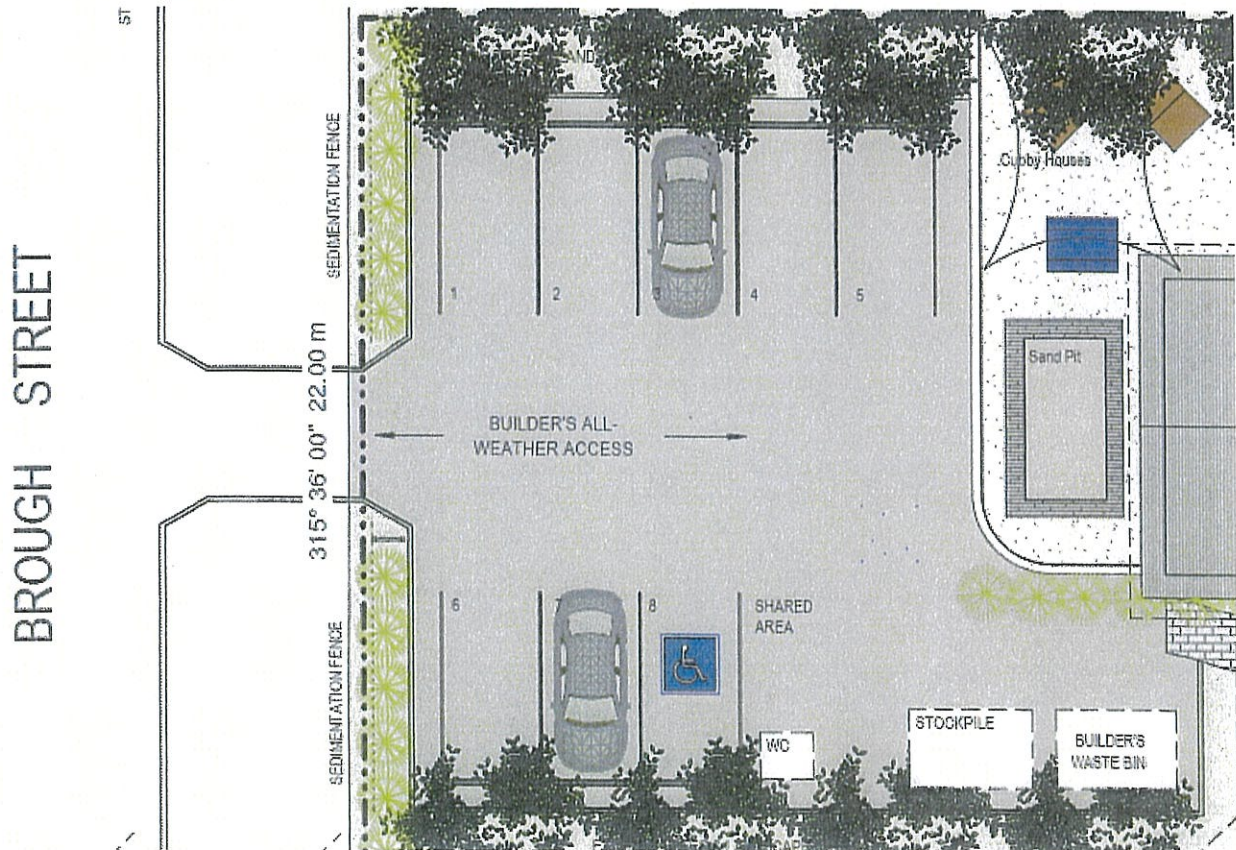
Width of the proposed driveways off Brough Street have been designed to accommodate a passenger car/minivan swept paths for entry and exit in accordance with AS 2890.1-2004.

In summary, the proposed parking facilities satisfy the relevant requirements specified in Australian Standards and it is therefore concluded the proposed development will not have any unacceptable parking implications.

3.2.3 Access Driveway and Internal Circulation

Service trucks will collect the garbage from frontage of the building at Brough Street with no need to access the car park area. Therefore, no swept path analysis would be required for the access of the service vehicles due to unchanged situation of the operations in the future.

Figure 3-2 Proposed Parking Layout



4 Proposed Development

4.1 Development Traffic Generation

An indication of the traffic generation potential of the development proposal is provided by reference to the Roads & Maritime Services Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepared by TEF Consulting.

As comparative study, "RMS guideline on Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepared by TEF Consulting" introduce the following formula for peak vehicle trips for pre-school and long day care child care centres in the range of 20-90 children with R-square rate of greater than 0.92.

Figure 4-1 Roads and Maritime Validation Trip Generation Surveys Analysis Report for Childcares Summary Table

Variable range	Valid for	Variable	
		$X_1 = \text{Total GFA, m}^2$	$X_2 = \text{Number of licensed places for children}$
		165 m ² to 1041 m ²	20-90
Y = Centre peak hour vehicle trips (in+out) AM	LDCC / PS / OC	No reliable relationship has been found	$Y = 0.0135 X_2^2 - 0.5214 X_2 + 24.462$ $R^2=0.8972$
Y = Centre peak hour vehicle trips (in+out) AM	LDCC / PS	$Y = -4E-05 X_1^2 + 0.1294 X_1 - 4.036$ $R^2=0.7382$	$Y = 0.0118 X_2^2 - 0.3585 X_2 + 22.968$ $R^2=0.9286$
Y = Centre peak hour vehicle trips (in+out) PM	LDCC / PS / OC	No reliable relationship has been found	$Y = 0.0027 X_1^2 + 0.5556 X_1 - 3.5489$ $R^2=0.8599$
Y = Centre peak hour vehicle trips (in+out) PM	LDCC / PS	$Y = -4E-05 X_1^2 + 0.111 X_1 - 0.1188$ $R^2=0.7663$	$Y = 0.004 X_2^2 + 0.4117 X_2 + 6.0276$ $R^2=0.9476$
Y = Centre vehicle trips (in+out) during AM peak hour on adjacent road	LDCC / PS / OC	No reliable relationship has been found	$Y = 0.0085 X_2^2 - 0.2648 X_2 + 20.21$ $R^2=0.7643$
Y = Centre vehicle trips (in+out) during AM peak hour on adjacent road	LDCC / PS	$Y = 2E-05 X_1^2 + 0.0308 X_1 + 14.615$ $R^2=0.7245$	$Y = 0.0065 X_2^2 - 0.0452 X_2 + 16.943$ $R^2=0.8051$
Y = Centre vehicle trips (in+out) during PM peak hour on adjacent road	LDCC / PS / OC	No reliable relationship has been found	$Y = 0.0015 X_2^2 + 0.3227 X_2 - 2.7273$ $R^2=0.6097$
Y = Centre vehicle trips (in+out) during PM peak hour on adjacent road	LDCC / PS	No reliable relationship has been found	No reliable relationship has been found
Y = Peak parking accumulation	LDCC / PS / OC	No reliable relationship has been found	$Y = 0.0007 X_1^2 + 0.0508 X_1 + 4.9144$ $R^2=0.638$
Y = Peak parking accumulation	LDCC / PS	$Y = -9E-06 X_1^2 + 0.0227 X_1 + 2.0819$ $R^2=0.9031$	$Y = -0.0003 X_2^2 + 0.1613 X_2 + 2.4686$ $R^2=0.7775$

The Roads and Maritime Guidelines are based on extensive surveys of a wide range of landuses and nominate the following traffic generation rates which are applicable to the development proposal:

Application of the above traffic generation rates to the various components outlined in the development proposal yields a traffic generation potential maximum of 22 AM peak hour (in + out) and 21 PM peak hour (in + out) new vehicle trips as set out in the Table 4-1.

Accordingly, it is likely the proposed development will result in an increase in the traffic generation potential of maximum 22 vph and 21 vph (in + out) during the Am and PM peak hours as set out below:

Table 4-1 Projected Increase in Peak Hour Traffic Generation Potential

Land Use	Generation Rate
Projected Future Traffic Generation Potential AM (in + out)	22 vph
Projected Future Traffic Generation Potential PM (in + out)	21 vph

Projected increase in traffic activity as a consequence of the development proposal is minimal (1 vehicle every 3 minutes) and will clearly not have any unacceptable traffic implications in terms of road network capacity. Therefore, no traffic modelling using SIDRA intersection would be required for this this development proposal.

5 Summary and Conclusions

Greys was engaged by Little Kindy Pty Ltd to perform a traffic impact and parking assessment in support of a development application for a proposed 28 place childcare centre. The premises are located at 57 Brough Street, Cobar.

The proposed development was assessed in accordance with RMS Technical Direction on Traffic Generating Developments and RMS guideline on Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepare by TEF Consulting, Australian Standard 2890.1. The assessment outcomes are as follows:

- > An additional trip generation of 22 vph (in + out) during the AM peak and 21 vph (in + out) during the PM is projected by the proposed development in the opening year (just more than 1 trip every 3 minutes). This number is considered non-consequential in terms of negatively impacting the surrounding road network.
- > No SIDRA intersection assessment was required as considered by Greys traffic engineer in his initial assessment of the development and due to trivial number of projected trip generation from the subject development which does not warrant SIDRA modelling at this stage.
- > Parking layout assessment was undertaken in accordance with Australian Standard 2890.1 the drop-off/pick-up zone and staff parking for the child care centre.
- > As part of this report, a parking assessment was also undertaken. The proposed development provides eight (8) off-street parking spaces for the Staff and visitors. The total parking requirement as stipulated in RMS Guidelines is in the order of seven (7) parking spaces. Hence, maximum accumulation parking figures were extracted from RMS guideline on Validation Trip Generation Surveys Analysis Report and Trip Generation Surveys Data Report prepare by TEF Consulting. It was concluded that a childcare centre with 28 children would require 1 space per 4 children including staff (7 spaces), hence 8 off-street parking spaces (inclusive of one PWD space) are deemed sufficient.
- > Appropriate drop-off/pick up spaces have been proposed within the premises with convenient access to the centre for parents and pedestrians from the car park.

It can be readily concluded that the subject childcare centre has no consequential impacts on the surrounding road network and parking demand. The operation of the childcare centre, at its current shape and form, is deemed acceptable in terms of traffic and transport matters.

Appendix A

Final Architectural Plans

PROPOSED CHILDCARE CENTRE

Change of Use - Existing Public Worship

LOT 72 DP520071,57 BROUGH STREET COBAR NSW 2835

DEVELOPMENT AREAS

TOTAL LAND AREA : 880m²
 TOTAL GROSS FLOOR AREA : 138.26m²
 TOTAL CLASSROOM AREA: 95.22m² (REQUIRED 28X3.25 = 91m²)
 TOTAL OUTDOOR AREA FOR PLAYGROUND: 202m² (REQUIRED 28 CHILDREN X 7SQM = 196m²) UNENCUMBERED



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

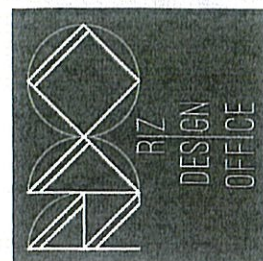
DESIGNER:
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 A/N: 02 916 452 030

PROJECT LOCATION/CLIENT:
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Worship at 57 Brough St, Cobar NSW

SHEET TITLE:
 COVER PAGE

PROJECT STATUS:
 DEVELOPMENT APPLICATION

CHECKED: RDO
DRAWN BY: RDO
DATE: JUL 2022
SCALE:
SHEET NO:
PROJECT NO: 20211175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

REVISED DA FOR RFI (NOV 2022)

Concept Design Drawing Register

Sheet Number	Sheet Name	Current Revision	Current Revision Date
-	COVER PAGE	B	NOV 2022
A100	SITE & ROOF PLAN	B	NOV 2022
A101	FLOOR PLAN - EXISTING	B	NOV 2022
A102	FLOOR PLAN - DEMOLITION	B	NOV 2022
A103	FLOOR PLAN - PROPOSED	B	NOV 2022
A104	ELEVATIONS	B	NOV 2022
A105	ELEVATIONS	B	NOV 2022
A106	SECTIONS	B	NOV 2022
A107	3D OVERALL VIEWS	B	NOV 2022
A108	STORMWATER/MANAGEMENT	B	NOV 2022
A109	SCHEDULES / SEDIMENTATION	B	NOV 2022
A110	3D EXPLODED VIEW	B	NOV 2022
A111	DEVELOPMENT NOTES	B	NOV 2022
A112	DEVELOPMENT NOTES	B	NOV 2022



SATELITE VIEW OF SUBJECT SITE
 IMAGE SOURCE: SIMAPS

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PROJECT LOCATION CLIENT
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobarr NSW

SHEET TITLE
FLOOR PLAN - EXISTING

PROJECT STATUS
DEVELOPMENT APPLICATION

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RDO

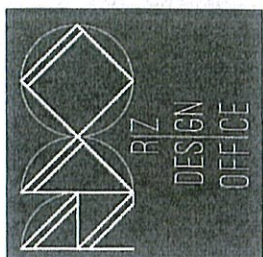
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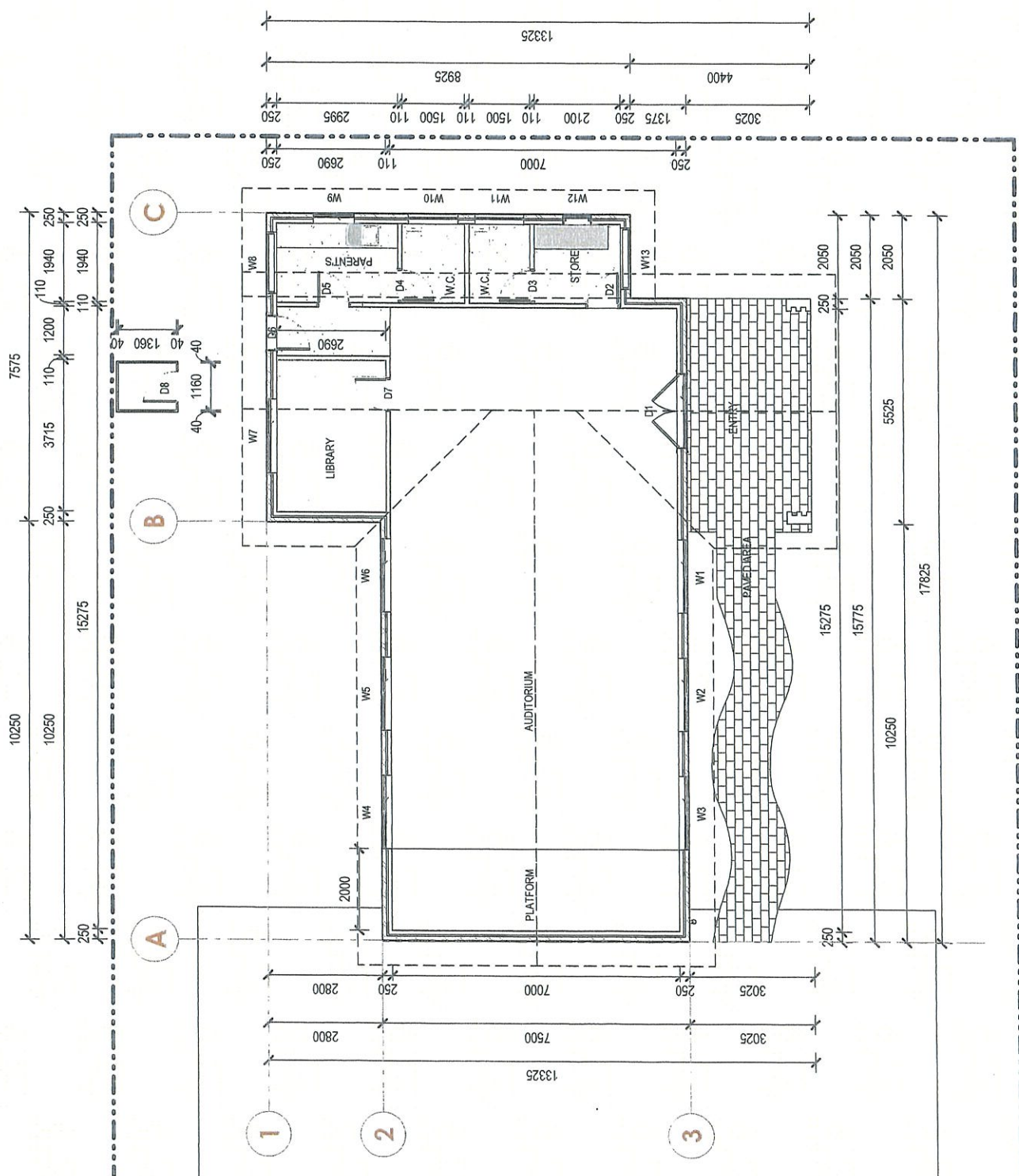
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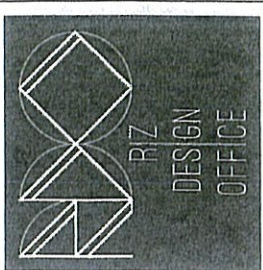
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 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

SHEET TITLE
FLOOR PLAN - DEMOLITION

PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED Designer
 DRAWN Designer
 DATE JUL 2022
 SCALE 1 : 100

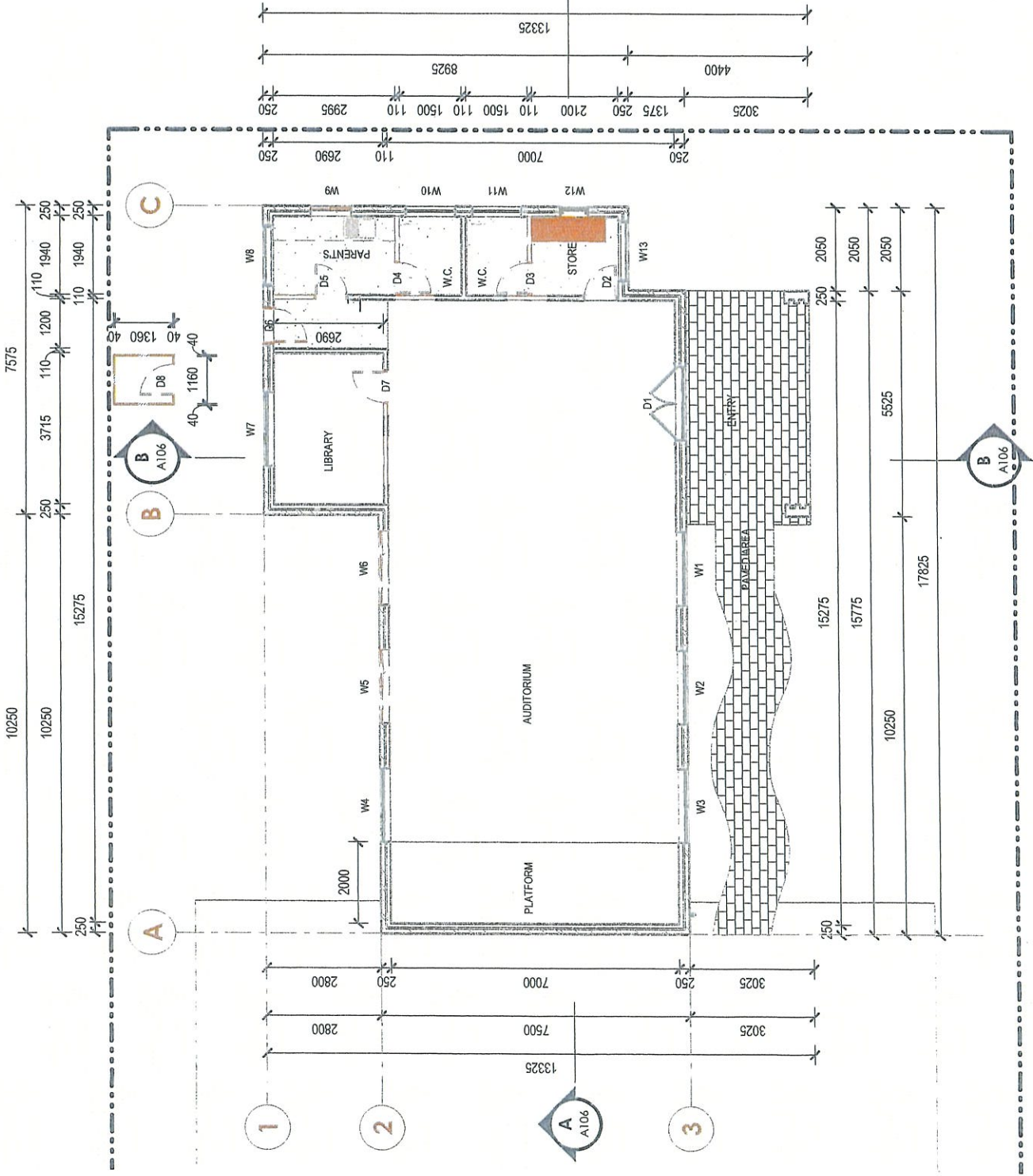
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DEMOLITION NOTES

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- EXISTING FOUNDATIONS AND REMAINING SERVICES ARE TO BE DEMOLISHED AND REMOVED FROM SITE DO NOT LEAVE BURIED AND REMOVED MATERIALS, SERVICES AND SYSTEM IN SITU.
- DEMOLITION OF ALL HAZARDOUS MATERIALS IS TO BE CONDUCTED IN ACCORDANCE WITH THE HAZARDOUS SUBSTANCES REPORT AND COUNCIL'S APPROVAL.
- MATERIAL IS THE PROPERTY OF THE CONTRACTOR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, STORAGE AND DISPOSAL OF DEMOLISHED MATERIALS. THERE IS A PROTECTIVE FENCE FOR DEMOLISHED MATERIALS TO BE RECYCLED WHERE APPROPRIATE RECYCLING FACILITIES ARE AVAILABLE.
- DEMOLITION ITEMS REPRESENTED IN RED DASHED LINES.
- BUILDING DEMOLITION IS TO BE PLANNED AND CARRIED OUT IN ACCORDANCE WITH AS 2801:2001.
- ASBESTOS REMOVAL IS TO BE CARRIED OUT IN ACCORDANCE WITH NSW WORK COVER CODE OF PRACTICE.
- DEMOLITION WORKS SHALL BE CONDUCTED IN ACCORDANCE WITH THE SUBMITTED HAZARDOUS SUBSTANCES MANAGEMENT PLAN AND A COPY OF THE HAZARDOUS SUBSTANCES MANAGEMENT PLAN IS TO BE KEPT ON-SITE FOR THE DURATION OF THE PROPOSED DEVELOPMENT.
- ON SITES WHERE ASBESTOS MATERIALS ARE TO BE DEMOLISHED, THE CONTRACTOR SHALL OBTAIN A CURRENT SIGN OFF FROM THE NSW DEPARTMENT OF HERITAGE AND CULTURE AS TO THE LOCATION OF ASBESTOS MATERIALS TO BE REMOVED IN A PROMINENT POSITION DURING ASBESTOS REMOVAL WORKS.
- THE DEMOLISHERS IS TO ENSURE THAT ALL DEMOLITION MATERIAL IS KEPT CLEAR OF THE PUBLIC FOOTWAY AND CARRIAGEWAY AS WELL AS ADJOINING PREMISES.
- ALL PUBLIC TREES THAT ARE REQUIRED TO BE RETAINED MUST BE PHYSICALLY PROTECTED IN ACCORDANCE WITH THE CITY OF NEWCASTLE URBAN FOREST TECHNICAL MANUAL SECTION 6.0 PROTECTION MEASURES. REMAINS IN PLACE AND MAINTAINED UNTIL ALL WORKS HAVE BEEN COMPLETED. WITH NO WASTE MATERIALS, WASHKITS, EQUIPMENT OR MACHINERY TO BE STORED WITHIN THE FENCED AREA.





Rev	Description	Date
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As indicated that the drawings shall represent the visual design of the work. All drawings must be submitted in accordance with the provisions of the Building Act 2019 and the Building Regulations 2019. All drawings must be submitted in accordance with the provisions of the Building Act 2019 and the Building Regulations 2019. All drawings must be submitted in accordance with the provisions of the Building Act 2019 and the Building Regulations 2019.

DESIGNER: RIZ

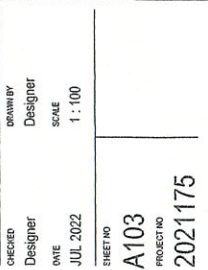
PROJECT LOCATION: QUEBET
 Proposed Childcare Centre
 Change of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

SHEET TITLE
FLOOR PLAN - PROPOSED

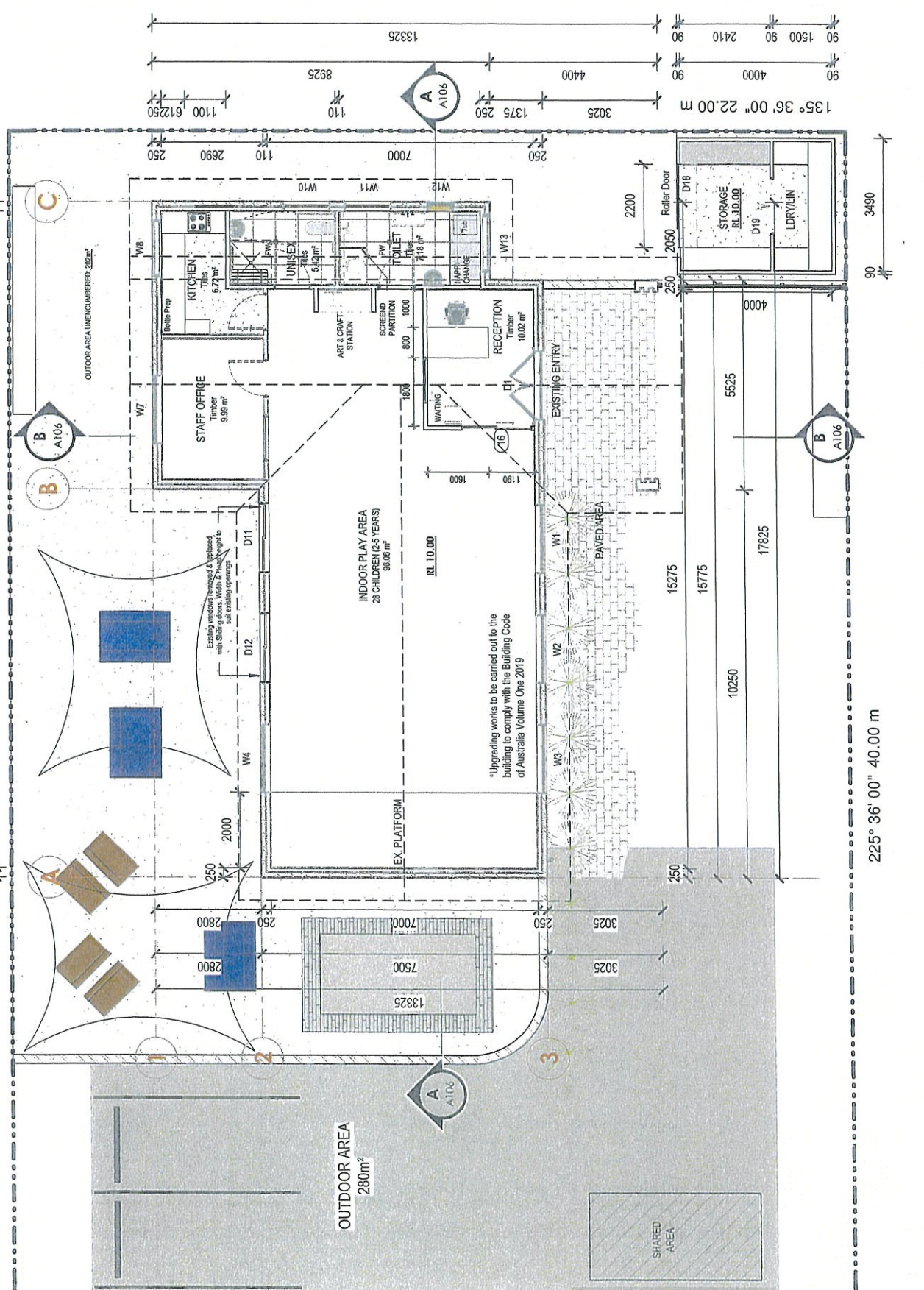
PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED: Designer
 DRAWN BY: Designer
 DATE: JUL 2022
 SCALE: 1:100

SHEET NO: **A103**
 PROJECT NO: **2021175**



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



135° 36' 00" 22.00 m

45° 36' 00" 40.00 m

225° 36' 00" 40.00 m

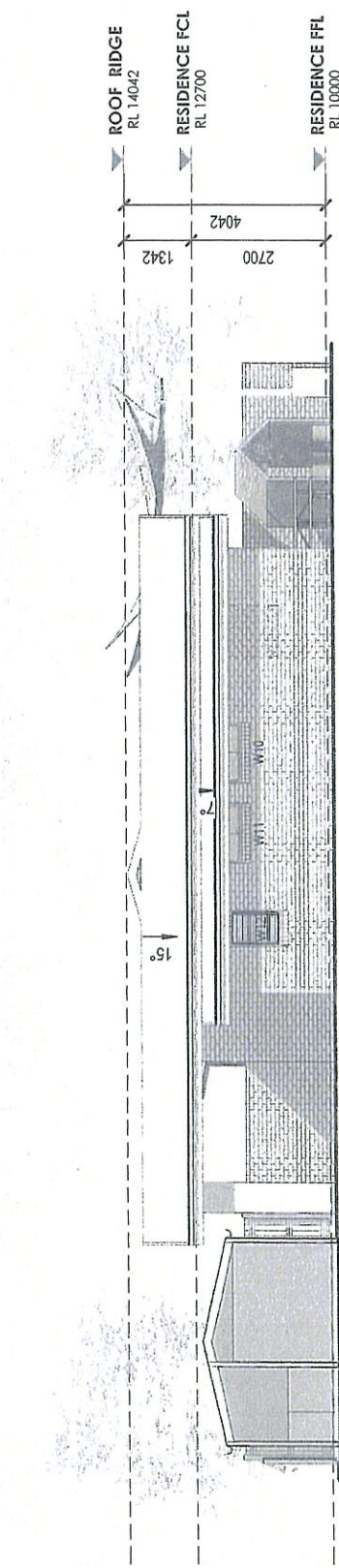
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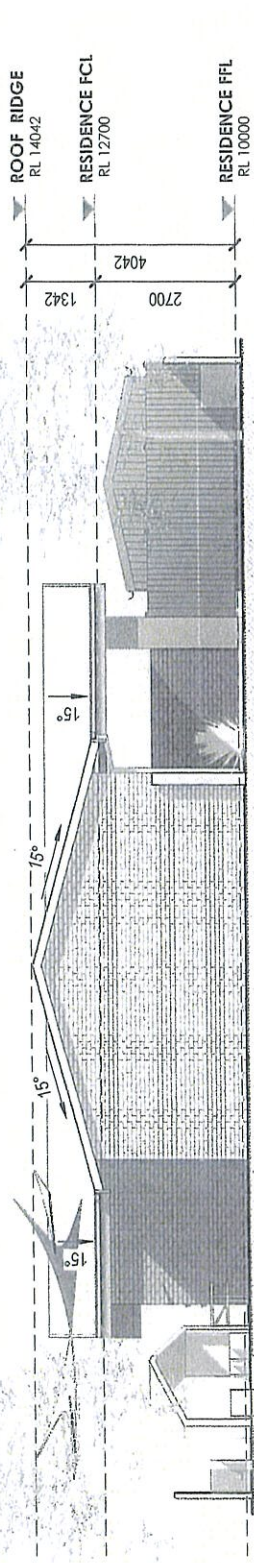
DIAL1100
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Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER:
It is intended that this document only represents the visual design of the work. Any technical details are for client project only. The Contractor/Manufacturer/Supplier/Supplier of Goods and Services is responsible for any omissions or errors. Dimensions are to be checked on site. Any discrepancies are to be referred to RZDESIGNOFFICE. In writing prior to commencement of work. Site visit is advised.
Check for local council rules.
Based in conjunction with the local development package. Any change or extension work if required is to be approved by a competent engineer. All levels to be checked onsite by builder prior to commencement of work.
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ABN: 59 416 452 639



NORTH ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100

PROJECT LOCATION CLIENT:
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobarr NSW

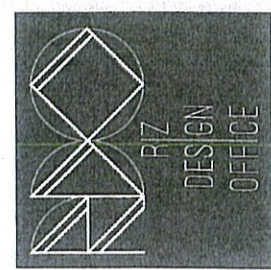
SHEET TITLE:
ELEVATIONS

PROJECT STATUS:
DEVELOPMENT APPLICATION

CHECKED: Designer
DATE: JUL 2022

DRAWN BY: Designer
SCALE: 1 : 100

SHEET NO: A104
PROJECT NO: 2021175



Nur Rizal Zaini
Accredited Building Designer
Accreditation Number: 6384

Rev	Description	Date
A	DA SUBMISSION	MAY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER
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PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

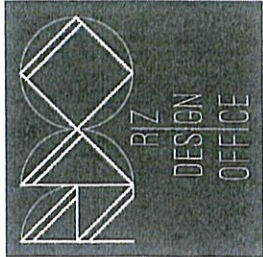
SHEET TITLE
 ELEVATIONS

PROJECT STATUS
 DEVELOPMENT APPLICATION

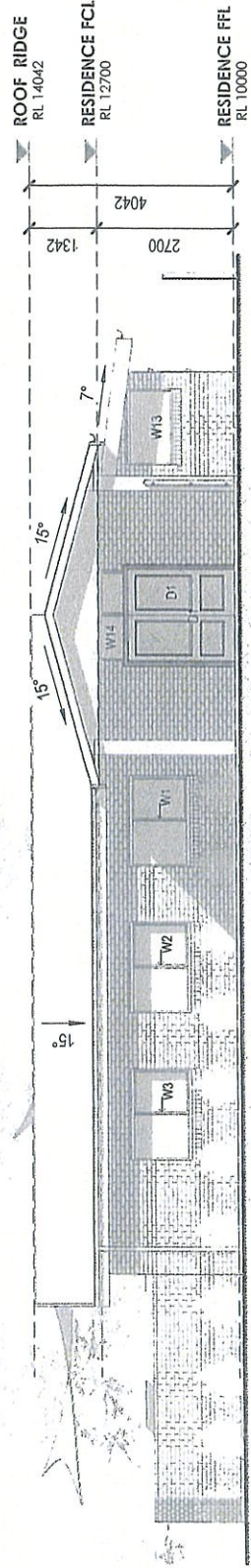
CHECKED
 Designer
 DATE
 JUL 2022
 SCALE
 1 : 100

DRAWN BY
 Designer
 SCALE
 1 : 100

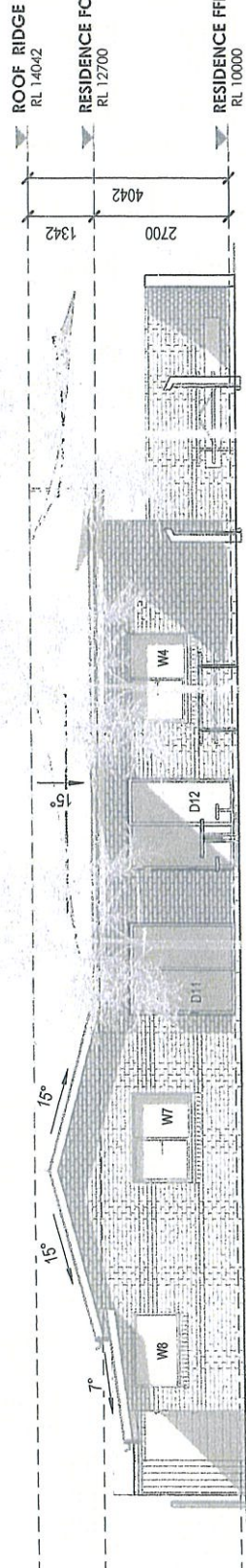
SHEET NO
 A105
 PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 63884



EAST ELEVATION
 1 : 100



WEST ELEVATION
 1 : 100



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REMOVED DA FOR PFI	NOV 2022

DISCLAIMER
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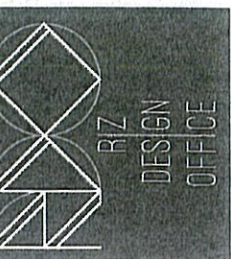
PROJECT LOCATION: CLIENT
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobarr NSW

SHEET TITLE
SECTIONS

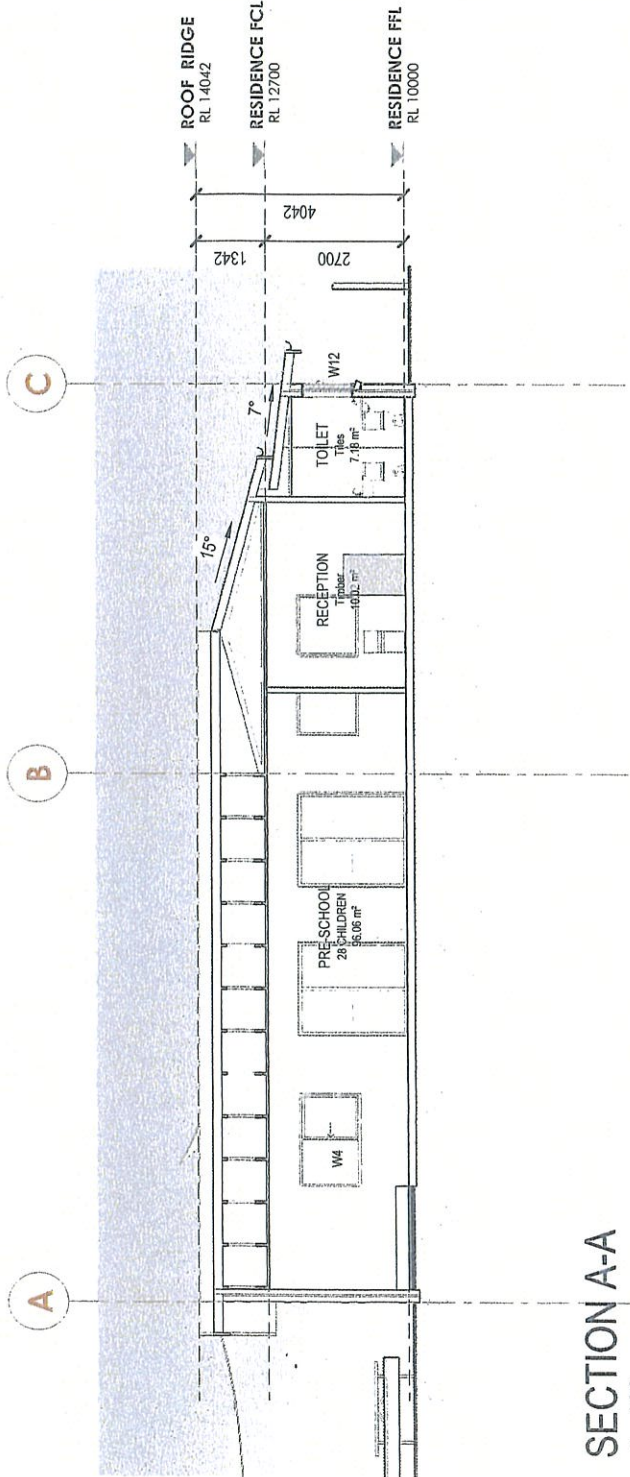
PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED: RDD
DRAWN BY: RDD
DATE: JUL 2022
SCALE: 1 : 100

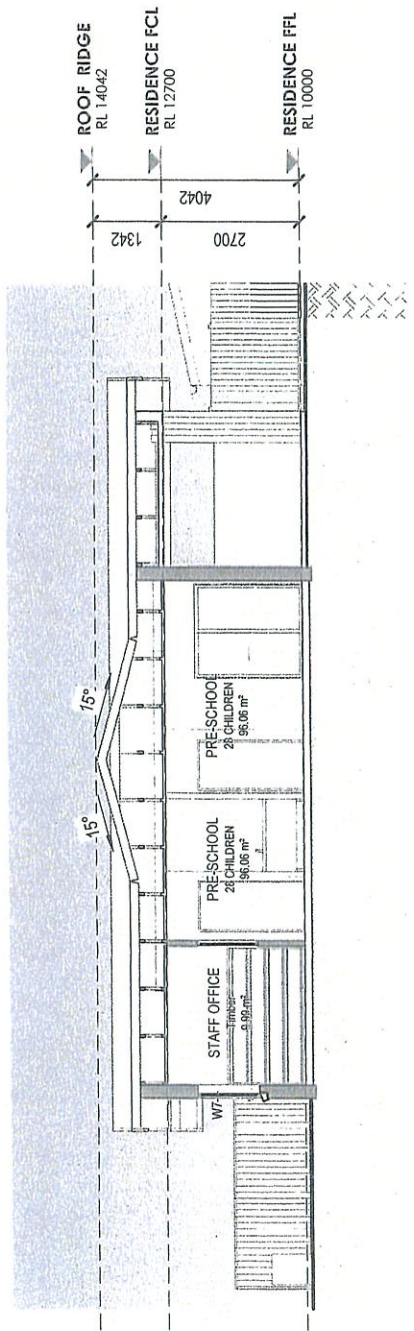
SHEET NO: A106
PROJECT NO: 2021175



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Accreditation Number: 63884



SECTION A-A
1 : 100



SECTION B-B
1 : 100

Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER

The drawings and the design offer represent the visual design of the work. It is not intended to be a construction document. It is intended to be used for information purposes only. It is not intended to be used for construction purposes. All construction drawings or other documents for construction must comply with the relevant industry safety standards. The design offer is provided as a visual design and is not intended to be used for construction purposes. All construction drawings or other documents for construction must comply with the relevant industry safety standards. The design offer is provided as a visual design and is not intended to be used for construction purposes. All construction drawings or other documents for construction must comply with the relevant industry safety standards.

RIZI DESIGN OFFICE
 02 9416 6220
 A107 PROJECT NO 2021175

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Worship at 57 Brough St. Cobarr NSW

SHEET TITLE
 3D OVERALL VIEWS

PROJECT STATUS
 DEVELOPMENT APPLICATION

CHECKED
 RDO

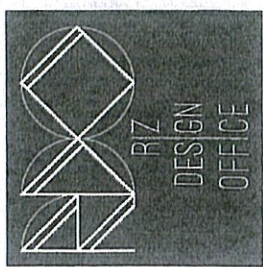
DRAWN BY
 RDO

DATE
 JUL 2022

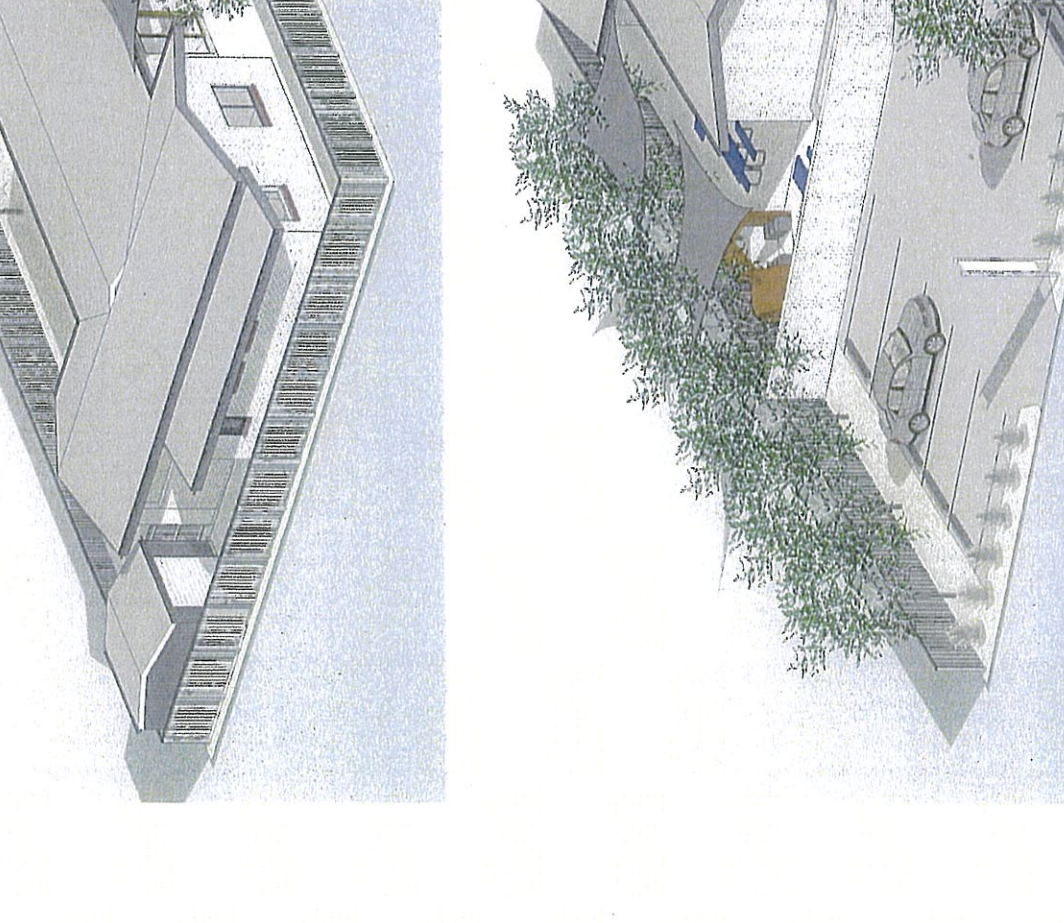
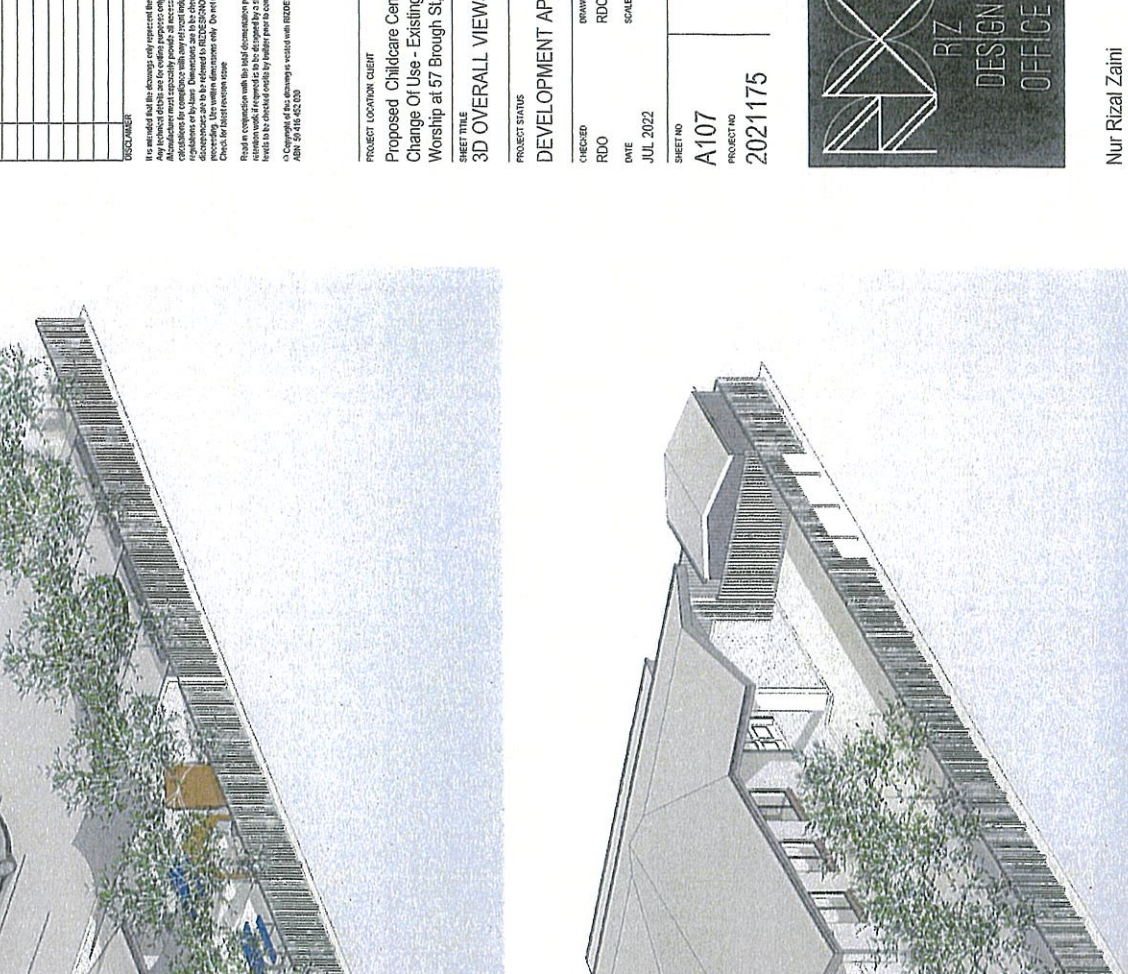
SCALE
 SCALE

SHEET NO
 A107

PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



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Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISION FOR PER	NOV 2022

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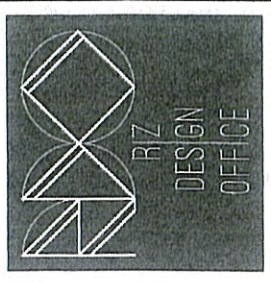
PROJECT LOCATION CLIENT
Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobar NSW
STORMWATERMANAGEMENT

PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED DRAWN BY
 RDO RDO

DATE SCALE
 JUL 2022 1:150

SHEET NO PROJECT NO
A108 2021175



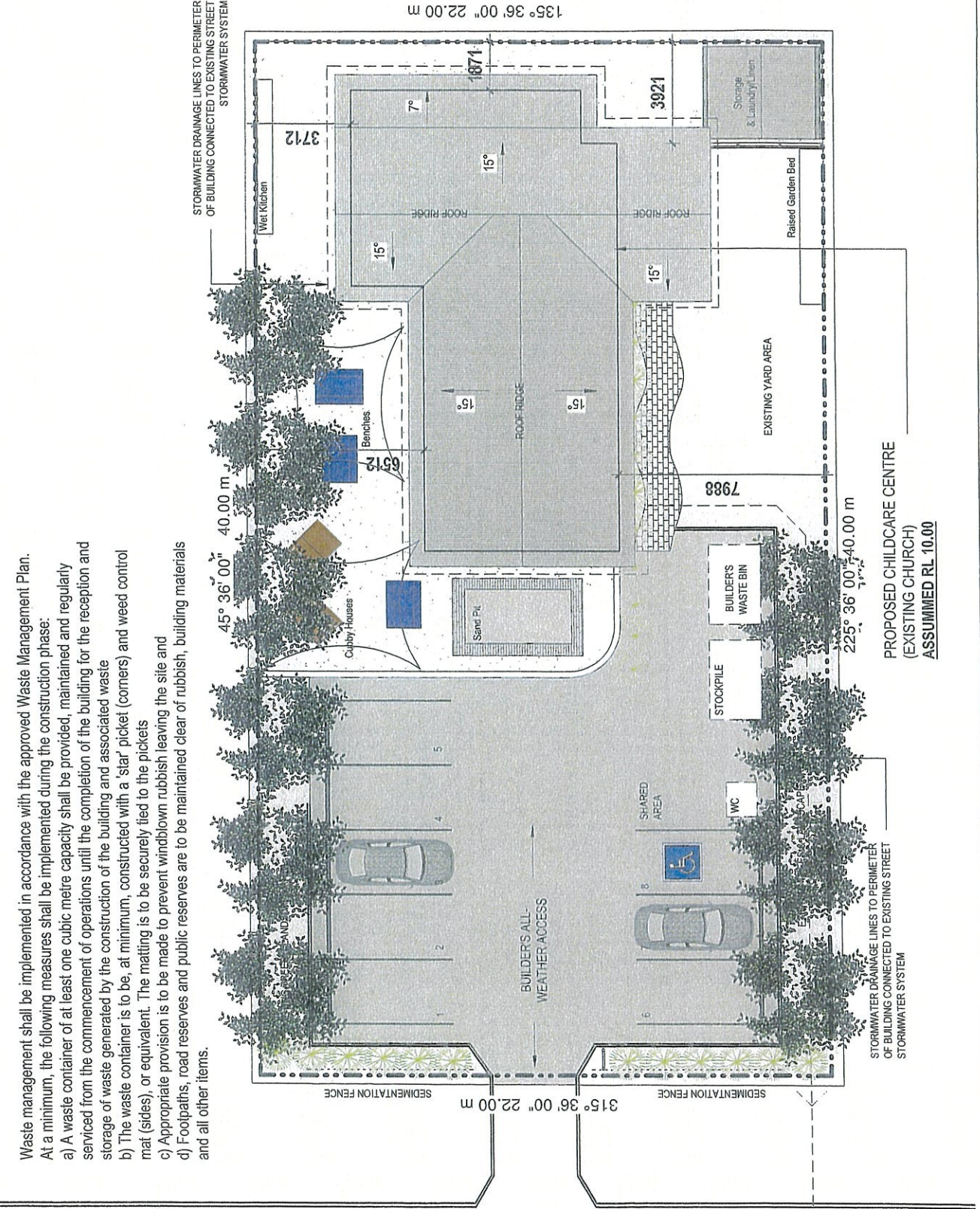
Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

Additional Notes & Conditions

Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Waste management shall be implemented in accordance with the approved Waste Management Plan. At a minimum, the following measures shall be implemented during the construction phase:

- A waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
- The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
- Appropriate provision is to be made to prevent windblown rubbish leaving the site and
- Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.





Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REINSED DA FOR REF	NOV 2022

It is intended that the drawings only represent the visual design of the work. All dimensions are to be taken from the finished work unless otherwise stated. Manufacturers must specify provide all necessary shop drawings or specifications for completion with any relevant industry safety standards. All dimensions are to be referred to UNLESS OTHERWISE SPECIFIED in writing from the drawings. The values dimensioned only. Do not use a scale dimension.

Works in conjunction with the drawings for the proposed building or works to be checked by the building officer for compliance with the Building Act 2016 and the Building Regulation 2017. A copy of this drawing is to be submitted with the building application.

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PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobar NSW

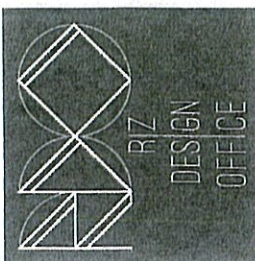
SHEET TITLE
 SCHEDULES / SEDIMENTATION

PROJECT STATUS
 DEVELOPMENT APPLICATION

CHECKED BY
 RDO
 DATE
 JUL 2022

DRAWN BY
 RDO
 SCALE

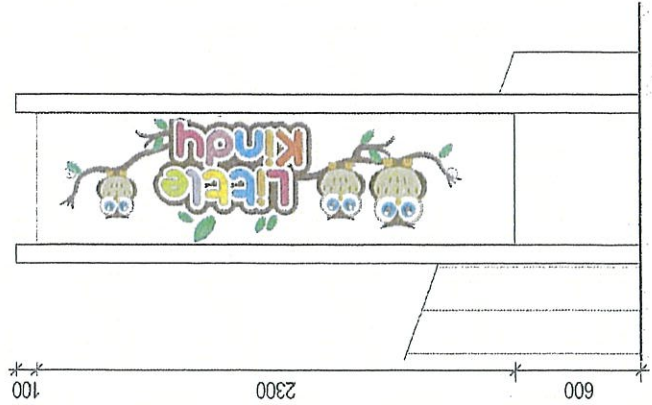
SHEET NO
 A109
 PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

Door No.	Height	Width
1	2100	1800
2	2000	760
3	2000	760
4	2000	760
5	2000	760
6	2040	820
7	2000	760
8	2000	760
9	2040	920
10	2040	920
11	2100	1800
12	2100	1800
13	2040	920
14	2040	920
15	2040	920
16	2100	1800
18	2000	2200
19	2040	720

Window No.	Height	Width	Sill Height	Head Height
1	1200	1800	900	2100
2	1200	1800	900	2100
3	1200	1800	900	2100
4	1200	1800	900	2100
5	1200	1800	900	2100
6	1200	1800	900	2100
7	1200	1800	900	2100
8	900	1500	1200	2100
9	1000	1000	1000	2000
10	450	1200	1750	2200
11	450	1200	1750	2200
12	1000	700	1000	2000
13	900	1500	1200	2100
14	600	1800	2100	2700
15	1200	1200	915	2115
16	1200	1200	915	2115



DOUBLE SIDED

STREET SIGNAGE

SEDIMENTATION DETAILS

NOTES:- SEDIMENTATION CONTROL

THE ABOVE IS TO BE USED WITH THE RELEVANT SEDIMENTATION CONTROL, TRAP AND INLET AND TO BE USED IN CONJUNCTION WITH THE RELEVANT TRAP AND INLET. ALL DIMENSIONS ARE TO BE TAKEN FROM THE FINISHED WORK UNLESS OTHERWISE SPECIFIED. THE RELEVANT TRAP AND INLET SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE RELEVANT TRAP AND INLET. THE RELEVANT TRAP AND INLET SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE RELEVANT TRAP AND INLET. THE RELEVANT TRAP AND INLET SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE RELEVANT TRAP AND INLET.

REV	DESCRIPTION	DATE
A	ISSUED FOR PERMIT	JULY 2022
B	REVISED DRAWING	NOV 2022

It is essential that the design and construction of any work complies with the relevant Australian Standards. The design and construction of any work must be done in accordance with the relevant Australian Standards. The design and construction of any work must be done in accordance with the relevant Australian Standards. The design and construction of any work must be done in accordance with the relevant Australian Standards.

Notes to the drawings shall be read in conjunction with the drawings. Any design or construction shall be done in accordance with the relevant Australian Standards. The design and construction of any work must be done in accordance with the relevant Australian Standards.

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 ABR: 56 116 42 808

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brought St, Cobar NSW

SHEET TITLE
 3D EXPLODED VIEW

PROJECT STATUS
 DEVELOPMENT APPLICATION

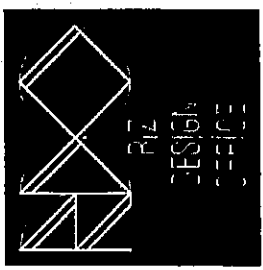
CHECKED BY
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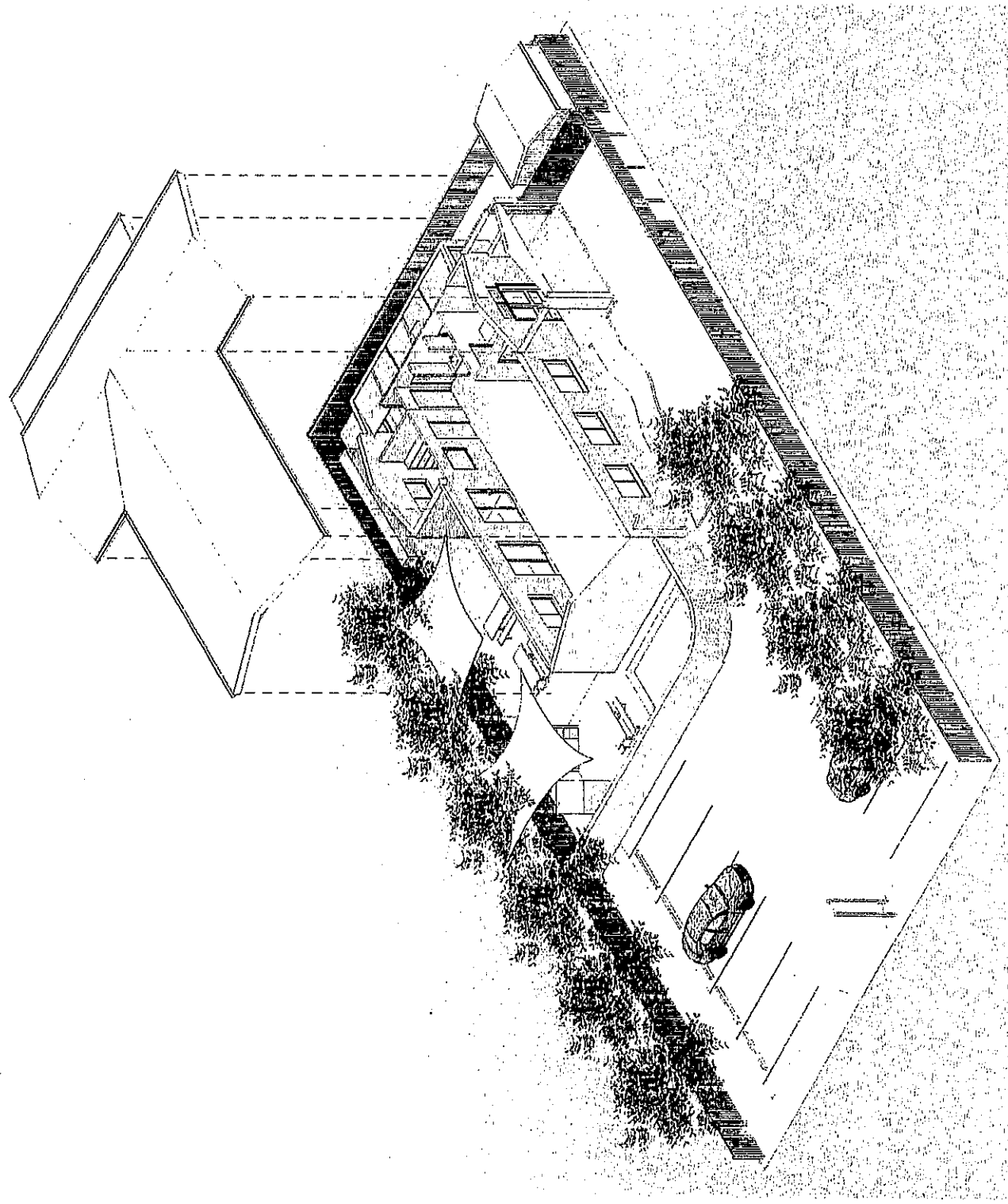
DATE
 JUL 2022

SHEET NO
 A110

PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR REF	NOV 2022

It is notified that all drawings were prepared to the issued design of the work and that the client is responsible for the accuracy of the information provided. All necessary checks and calculations for compliance with relevant regulatory codes, standards, and other applicable requirements shall be referred to REDESIGN OFFICE, as a party prior to the commencement of any work. For further information contact the relevant authority.
 Revisions in compliance with the relevant design specification. Any changes or amendments to the drawings shall be the responsibility of the client. All work shall be completed to the satisfaction of the relevant authority. The client shall be responsible for the accuracy of the information provided.
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 ABRN: 59 145 422 338

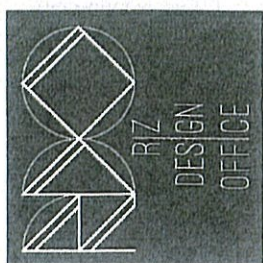
PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

SHEET TITLE
DEVELOPMENT NOTES

PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED Designer DATE JUL 2022
 DRAWN BY Designer SCALE

SHEET NO A111 PROJECT NO 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

CLEANLINESS, MAINTENANCE AND REPAIRS

THE PREMISES AND ALL EQUIPMENT MUST BE MAINTAINED IN A SAFE, CLEAN AND HYGIENIC CONDITION AND IN GOOD REPAIR AT ALL TIMES.
 THE PREMISES WILL BE KEPT FREE FROM VERMIN AND PESTS.
 THE PREMISES WILL NOT BE FUMIGATED WHILE CHILDREN ARE IN ATTENDANCE.
 THE BUILDING WILL BE FITTED WITH APPROPRIATE DEVICES TO PREVENT CHILDREN FROM GAINING ACCESS TO POWER POINTS OR OTHER ELECTRICAL OUTLETS, AND TO MINIMISE THE RISK OF ELECTRICAL SHOCK ARISING FROM ELECTRICAL WIRING.
 THE PREMISES WILL BE KEPT CLEAN FROM RUBBISH, GARBAGE AND RUBBLE.

CLEANLINESS AND MAINTENANCE OF FOOD PREPARATION AREAS

TO ENSURE THAT ADEQUATE PROVISION IS MADE FOR THE CLEANLINESS AND MAINTENANCE OF ALL FOOD PREPARATION AREAS, ALL BUILDING WORK IN CONNECTION WITH THE OCCUPATION OR USE OF THE PREMISES FOR THE PREPARATION AND STORAGE OF FOOD SHALL BE DESIGNED AND CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF:-
 (A) AS4674 (DESIGN, CONSTRUCTION AND FIT-OUT OF FOOD PREMISES); .

STORAGE FACILITIES

STORAGE ROOMS ARE PROVIDED IN ALL PLAYROOMS FROM 1 YEAR AND OVER WITH CHILD PROOF DOORS AND HANDLES. OUTDOOR STORAGE FACILITIES ARE TO BE PROVIDED FOR EXTERNAL PLAY EQUIPMENT, REFER TO PLANS FOR LOCATION.
 LOCKERS FOR EACH CHILD ARE PROVIDED IN EACH PLAYROOM.

ACCESS FOR PEOPLE WITH DISABILITIES

RAMP AND ACCESS FOR PEOPLE WITH DISABILITIES ARE TO BE PROVIDED TO AND WITHIN THE ENTIRE BUILDING. COMPLIANT ACCESS PROVISIONS FOR PEOPLE WITH DISABILITIES SHALL BE CLEARLY SHOWN ON THE PLANS SUBMITTED WITH THE CONSTRUCTION CERTIFICATE APPLICATION. ALL DETAILS SHALL BE PREPARED IN CONSIDERATION OF, AND CONSTRUCTION COMPLETED TO ACHIEVE COMPLIANCE WITH THE PROVISIONS OF THE PREMISE STANDARD AND THE RELEVANT PROVISIONS OF AS1428.1 AND AS1428.4.

DEVELOPMENT AND PLAY EQUIPMENT

ALL PLAY EQUIPMENT, BOTH INDOOR AND OUTDOOR, MUST NOT BE ABLE TO INJURE ANY CHILD BY EITHER FALL FROM A HEIGHT, SHARP EDGES, PINCHING, CRUSHING OR TRAPPING.
 ALL EQUIPMENT MUST BE IN GOOD WORKING ORDER AT ALL TIMES.
 ALL SURFACES IN THE PLAYGROUND AREAS MUST COMPLY WITH AS4422 REQUIREMENTS.

HOT WATER

ALL HOT WATER ACCESSIBLE TO CHILDREN MUST BE REGULATED TO KEEP THE TEMPERATURE FROM THESE OUTLETS BELOW 43.5 DEGREES CELSIUS.

FIRE SAFETY EQUIPMENT

THE CENTRE MUST HAVE FIRE HOSE REELS, FIRE EXTINGUISHERS AND BLANKETS, SMOKE DETECTORS EMERGENCY LIGHTING, EXIT SIGNS, ETC. THAT COMPLY WITH THE N.C.C. REQUIREMENTS AND AS2293, AS2441, AS244, ASINZS3604, AND AS3786.
 ALL MAINTENANCE FIRE EQUIPMENT MUST COMPLY WITH AS1851.
 IF THE CENTRE IS LOCATED IN A BUSH FIRE ZONE THE BUILDING MUST BE BUILT TO COMPLY WITH AS3959.

VENTILATION, LIGHT AND HEATING

THE CENTRE HAS BEEN DESIGNED TO PROVIDE ADEQUATE ACCESS TO NATURAL LIGHT AND VENTILATION.
 ALL ARTIFICIAL LIGHTING TO MEET ASINZS 1680-2009 AND N.C.C. F4.4 ADDITIONAL VENTILATION IS PROVIDED BY MECHANICAL VENTILATION WITH ALL AIR HANDLING UNITS LOCATED OUTSIDE, AWAY FROM CHILDREN'S PLAY AREAS.
 BUILDING VENTILATION TO MEET AS1668.2-2012 & ASINZS 366.1-2011 AND N.C.C. F4.5 REQUIREMENTS.
 ALL CONTROLS WILL BE KEPT AWAY FROM CHILDREN.

GLASS

ALL GLAZED AREAS THAT ARE ACCESSIBLE TO THE CHILDREN THAT ARE 750MM OR LESS ABOVE THE FLOOR LEVEL WILL BE SAFETY GLASS AS PER N.C.C. REQUIREMENTS AND ASINZS2208, AS1288 AND AS2047-2014.
 ALL WINDOWS THAT ARE ABLE TO BE OPENED MUST BE FITTED WITH APPROPRIATE BARRIERS (FLY SCREENS).

TELEPHONE

THERE WILL BE AT LEAST 2 TELEPHONES IN THE CENTRE FOR CONTACTING ANY EMERGENCY SERVICE NEEDED.

Architectural Plans

by R12 Design Office, dated July 2022

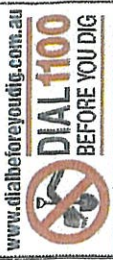
PROPOSED CHILDCARE CENTRE

Change of Use - Existing Public Worship

LOT 72 DP520071, 57 BROUGH STREET COBAR NSW 2835

DEVELOPMENT AREAS

TOTAL LAND AREA : 880m²
 TOTAL GROSS FLOOR AREA : 138.26m²
 TOTAL CLASSROOM AREA : 95.22m² (REQUIRED 28X3.25 = 91m²)
 TOTAL OUTDOOR AREA FOR PLAYGROUND : 202m² (REQUIRED)
 28 CHILDREN X 7SQM = 196m² UNENCUMBERED



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Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER:

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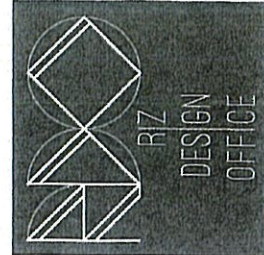
Read in conjunction with the usual documentation package. Any drawings are not to be used for construction purposes until the relevant consent has been issued. Copyright of the drawings is retained with RIZAL DESIGN OFFICE. ABN: 59 416 452 830

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Worship at 57 Brough St, Cobarr NSW
 SHEET TITLE
 COVER PAGE

PROJECT STATUS
 DEVELOPMENT APPLICATION

CHECKED RDO
 DRAWN BY RDO
 DATE JUL 2022
 SCALE
 SHEET NO

PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

Concept Design Drawing Register

Sheet Number	Sheet Name	Current Revision	Current Revision Date
-	COVER PAGE	B	NOV 2022
A100	SITE & ROOF PLAN	B	NOV 2022
A101	FLOOR PLAN - EXISTING	B	NOV 2022
A102	FLOOR PLAN - DEMOLITION	B	NOV 2022
A103	FLOOR PLAN - PROPOSED	B	NOV 2022
A104	ELEVATIONS	B	NOV 2022
A105	ELEVATIONS	B	NOV 2022
A106	SECTIONS	B	NOV 2022
A107	3D OVERALL VIEWS	B	NOV 2022
A108	STORMWATER/MANAGEMENT	B	NOV 2022
A109	SCHEDULES / SEDIMENTATION	B	NOV 2022
A110	3D EXPLODED VIEW	B	NOV 2022
A111	DEVELOPMENT NOTES	B	NOV 2022
A112	DEVELOPMENT NOTES	B	NOV 2022

REVISED DA FOR RFI (NOV 2022)



STREET VIEW OF SUBJECT SITE
 IMAGE SOURCE: GOOGLE



SATELLITE VIEW OF SUBJECT SITE
 IMAGE SOURCE: BING



CHILD CARE PLANNING GUIDELINES

ii

- Outdoor play areas should:
- provide solar access throughout the year to at least 30 per cent of the ground area
 - provide shade in the form of trees or physical shade structures that provide protection from ultraviolet radiation to at least 30 per cent of the outdoor play area
 - shade structures should be evenly distributed over different activity spaces and not just consolidated over one area.
- It is recommended that no more than 60 per cent of outdoor space is covered.



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RfI	NOV 2022

SCALE: 1:150
 DRAWN BY: RDO
 CHECKED: RDO
 DATE: JUL 2022
 SHEET NO: A100
 PROJECT NO: 2021175

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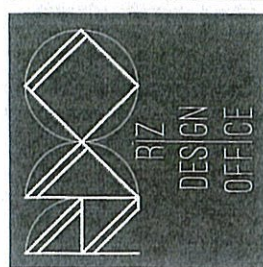
Do not dig without checking with 1100 Dial Before You Dig. All excavations must be preceded by a 100% geotechnical investigation report prepared by a registered professional engineer. All excavations must be preceded by a 100% geotechnical investigation report prepared by a registered professional engineer. All excavations must be preceded by a 100% geotechnical investigation report prepared by a registered professional engineer. All excavations must be preceded by a 100% geotechnical investigation report prepared by a registered professional engineer.

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 A811 09 416 452 009

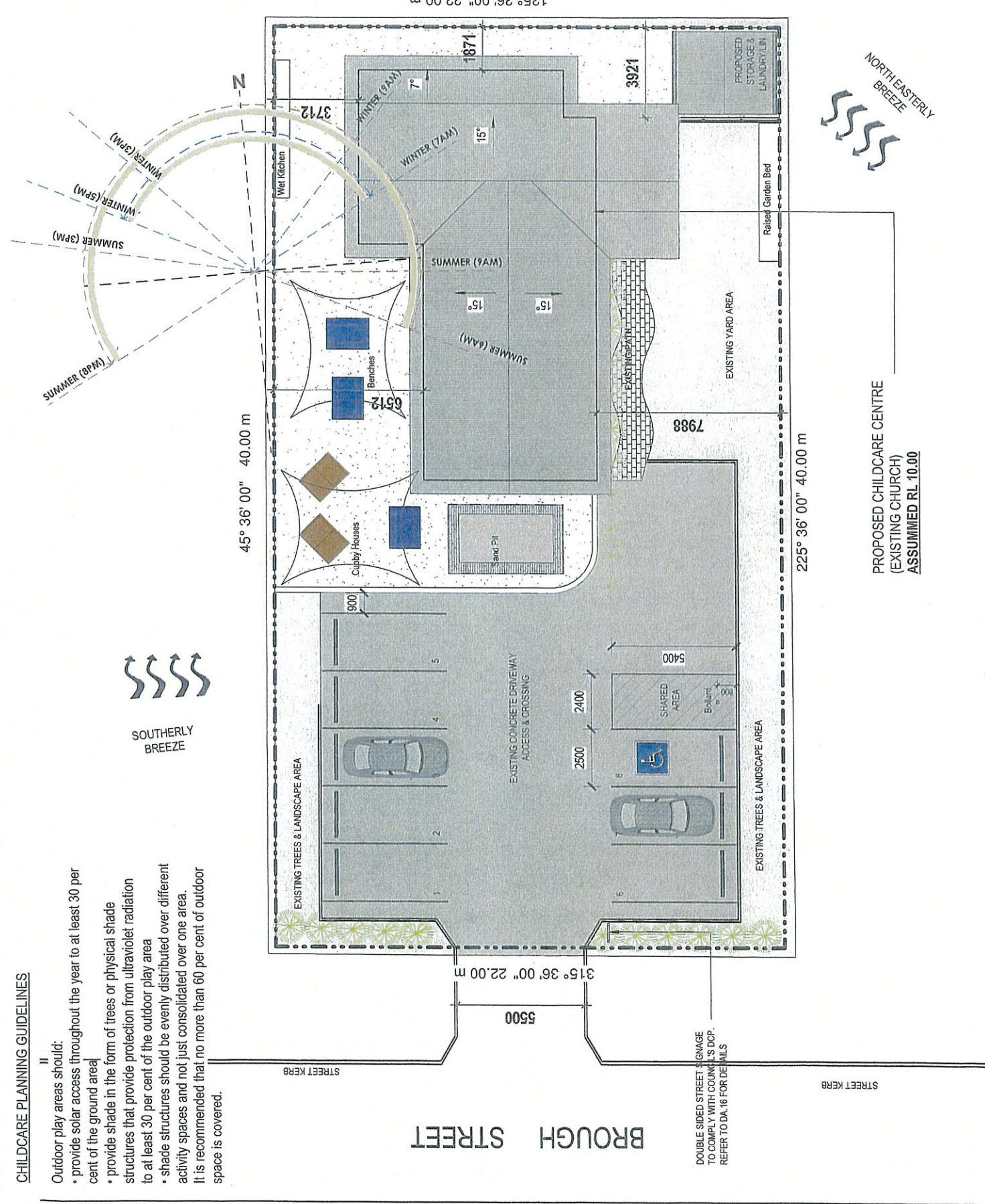
PROJECT LOCATION: CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Worship at 57 Brough St, Cobarr NSW

SHEET TITLE
 SITE & ROOF PLAN

PROJECT STATUS
 DEVELOPMENT APPLICATION



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



29/11/2022 7:07:51 PM



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DESIGNER:

We warrant that the drawings represent the actual design of the work and shall be used for the purpose intended. We warrant that the work shall conform to the relevant codes, standards, and specifications. We warrant that the work shall be completed within the agreed time frame. We warrant that the work shall be completed to the satisfaction of the client. We warrant that the work shall be completed to the satisfaction of the relevant authorities. We warrant that the work shall be completed to the satisfaction of the relevant stakeholders. We warrant that the work shall be completed to the satisfaction of the relevant community. We warrant that the work shall be completed to the satisfaction of the relevant industry. We warrant that the work shall be completed to the satisfaction of the relevant profession. We warrant that the work shall be completed to the satisfaction of the relevant society. We warrant that the work shall be completed to the satisfaction of the relevant culture. We warrant that the work shall be completed to the satisfaction of the relevant environment. We warrant that the work shall be completed to the satisfaction of the relevant climate. We warrant that the work shall be completed to the satisfaction of the relevant geography. We warrant that the work shall be completed to the satisfaction of the relevant geology. We warrant that the work shall be completed to the satisfaction of the relevant hydrology. We warrant that the work shall be completed to the satisfaction of the relevant meteorology. We warrant that the work shall be completed to the satisfaction of the relevant oceanography. We warrant that the work shall be completed to the satisfaction of the relevant astronomy. We warrant that the work shall be completed to the satisfaction of the relevant biology. We warrant that the work shall be completed to the satisfaction of the relevant chemistry. We warrant that the work shall be completed to the satisfaction of the relevant physics. We warrant that the work shall be completed to the satisfaction of the relevant mathematics. We warrant that the work shall be completed to the satisfaction of the relevant engineering. We warrant that the work shall be completed to the satisfaction of the relevant architecture. We warrant that the work shall be completed to the satisfaction of the relevant urban planning. We warrant that the work shall be completed to the satisfaction of the relevant landscape architecture. We warrant that the work shall be completed to the satisfaction of the relevant interior design. We warrant that the work shall be completed to the satisfaction of the relevant visual arts. We warrant that the work shall be completed to the satisfaction of the relevant performing arts. We warrant that the work shall be completed to the satisfaction of the relevant media. We warrant that the work shall be completed to the satisfaction of the relevant communication. We warrant that the work shall be completed to the satisfaction of the relevant information technology. We warrant that the work shall be completed to the satisfaction of the relevant engineering. We warrant that the work shall be completed to the satisfaction of the relevant architecture. We warrant that the work shall be completed to the satisfaction of the relevant urban planning. We warrant that the work shall be completed to the satisfaction of the relevant landscape architecture. We warrant that the work shall be completed to the satisfaction of the relevant interior design. We warrant that the work shall be completed to the satisfaction of the relevant visual arts. We warrant that the work shall be completed to the satisfaction of the relevant performing arts. We warrant that the work shall be completed to the satisfaction of the relevant media. We warrant that the work shall be completed to the satisfaction of the relevant communication. We warrant that the work shall be completed to the satisfaction of the relevant information technology.

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

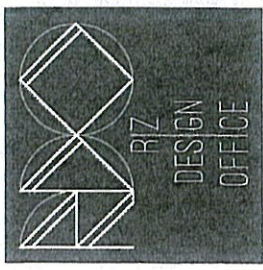
SHEET TITLE
 FLOOR PLAN - EXISTING

PROJECT STATUS
 DEVELOPMENT APPLICATION

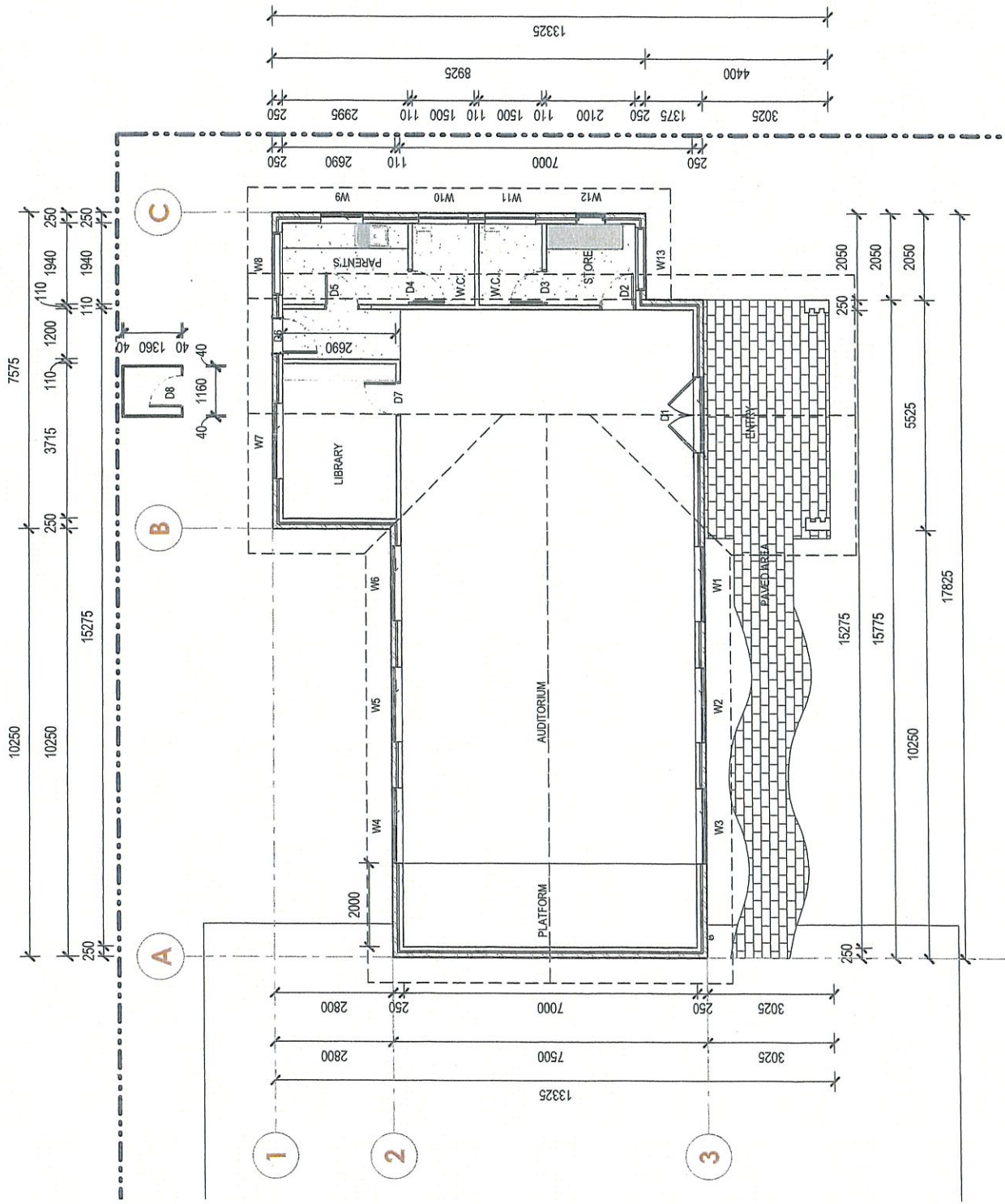
CHECKED RDO
DATE JUL 2022
SCALE 1 : 100

DRAWN BY RDO
DATE JUL 2022
SCALE 1 : 100

SHEET NO A101
PROJECT NO 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



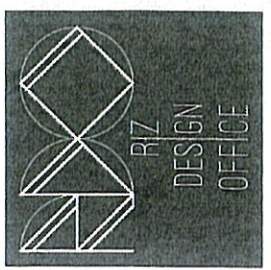
Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFP	NOV 2022

It is intended that this drawing only represent the visual design of the work. All dimensions must be checked on site. All dimensions must be checked on site. All dimensions must be checked on site. All dimensions must be checked on site. All dimensions must be checked on site.

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW
 SHEET TITLE
FLOOR PLAN - DEMOLITION

DEVELOPMENT APPLICATION
 CHECKED Designer
 DATE JUL 2022
 SCALE 1 : 100

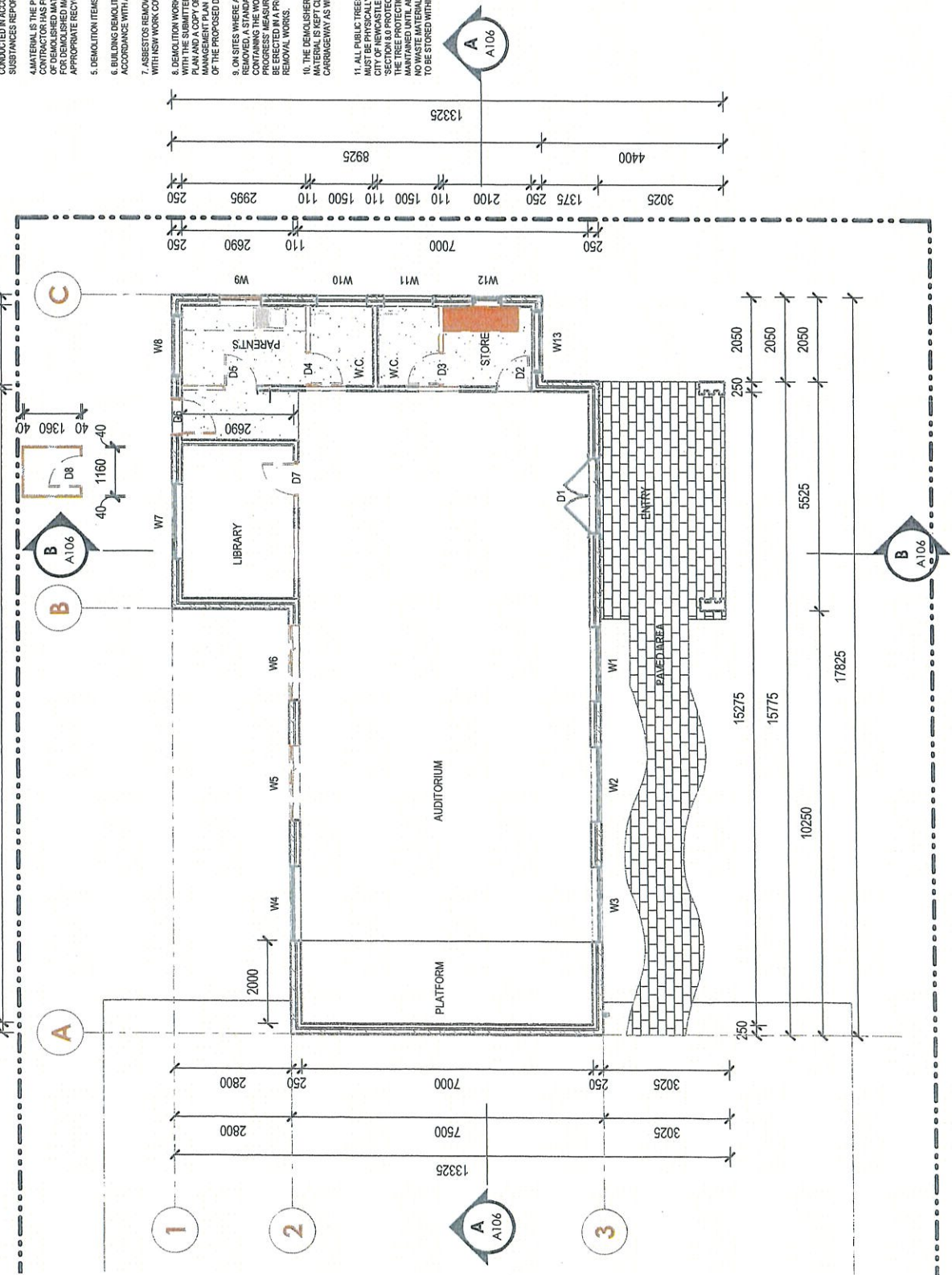
SHEET NO
A102
 PROJECT NO
2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384

DEMOLITION NOTES

- EXISTING COMPONENTS DESIGNED FOR DEMOLITION MAY BE SALVAGED FOR REUSE AND STRUCTURAL MATERIALS POTENTIALLY BE REUSED FOR PROPOSED ADDITION. BUILDER TO ADVISE CLIENTS.
- EXISTING FOUNDATIONS AND REMNANT SERVICES ARE TO BE DEMOLISHED AND REMOVED FROM SITE, NOT CLEAN BURIED AND REDUNDANT MATERIALS, SERVICES AND SYSTEMS IN SITU.
- DEMOLITION OF ALL HAZARDOUS MATERIALS IS TO BE CONDUCTED IN ACCORDANCE WITH THE HAZARDOUS SUBSTANCES REPORT AND COUNCIL APPROVAL.
- MATERIAL IS THE PROPERTY OF THE CONTRACTOR AND THE CONTRACTOR HAS FULL RESPONSIBILITY FOR SAFE DISPOSAL. CONTRACTOR TO PROVIDE EVIDENCE OF DISPOSAL TO THE APPROPRIATE RECYCLING FACILITIES ARE AVAILABLE.
- DEMOLITION ITEMS REPRESENTED IN RED DASHED LINES.
- BUILDINGS DEMOLITION IS TO BE PLANNED AND CARRIED OUT IN ACCORDANCE WITH AS 2891:2001.
- ASBESTOS REMOVAL IS TO BE CARRIED OUT IN ACCORDANCE WITH NSW WORK COVER CODE OF PRACTICE.
- DEMOLITION WORKS SHALL BE CONDUCTED IN ACCORDANCE WITH THE SUBMITTED HAZARDOUS SUBSTANCES MANAGEMENT PLAN AND A COPY OF THE HAZARDOUS SUBSTANCES MANAGEMENT PLAN IS TO BE ON-SITE FOR THE DURATION OF THE PROPOSED DEVELOPMENT.
- ON SITES WHERE ASBESTOS MATERIALS ARE TO BE REMOVED, A STANDARD COMMERCIAL MANUFACTURED SIGN SHALL BE ERRECTED IN A PROMINENT POSITION DURING ASBESTOS REMOVAL WORKS.
- THE DEMOLISHER IS TO ENSURE THAT ALL DEMOLITION MATERIAL IS KEPT CLEAR OF THE PUBLIC FOOTWAY AND CARRIAGEWAY AS WELL AS ADJOINING PREMISES.
- ALL PUBLIC TREES THAT ARE REQUIRED TO BE RETAINED MUST BE PHYSICALLY PROTECTED IN ACCORDANCE WITH THE CITY OF NEWCASTLE URBAN FOREST TECHNICAL MANUAL 'SECTION 8.0 PROTECTION MEASURES'.
- ALL PUBLIC TREES TO REMAIN IN PLACE AND MAINTAINED UNTIL ALL WORKS HAVE BEEN COMPLETED. ALL WASTE MATERIALS, WASHOUTS, EQUIPMENT OR MACHINERY TO BE STORED WITHIN THE FENCED AREA.



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

NOTICE:
 It is the responsibility of the client to ensure the use of any work is in accordance with the current building codes of the state.
 Any technical details and for specific purposes only. The Contractor must ensure all necessary approvals are obtained prior to commencing work. The Contractor must ensure all necessary approvals are obtained prior to commencing work. The Contractor must ensure all necessary approvals are obtained prior to commencing work.
 Check for local council rules, and for any other restrictions. Check for local council rules, and for any other restrictions. Check for local council rules, and for any other restrictions.
 Plans in accordance with the local council rules. Any change or addition work is required to be approved by a structural engineer. All levels to be checked on-site prior to commencement of work.
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 ABN 59 516 462 109

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St. Cobarr NSW

SHEET TITLE
 FLOOR PLAN - PROPOSED

PROJECT STATUS
 DEVELOPMENT APPLICATION

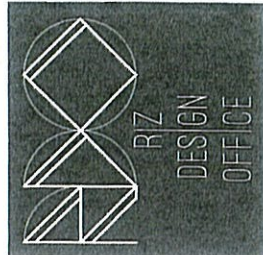
CHECKED
 Designer
 DATE
 JUL 2022

DRAWN BY
 Designer

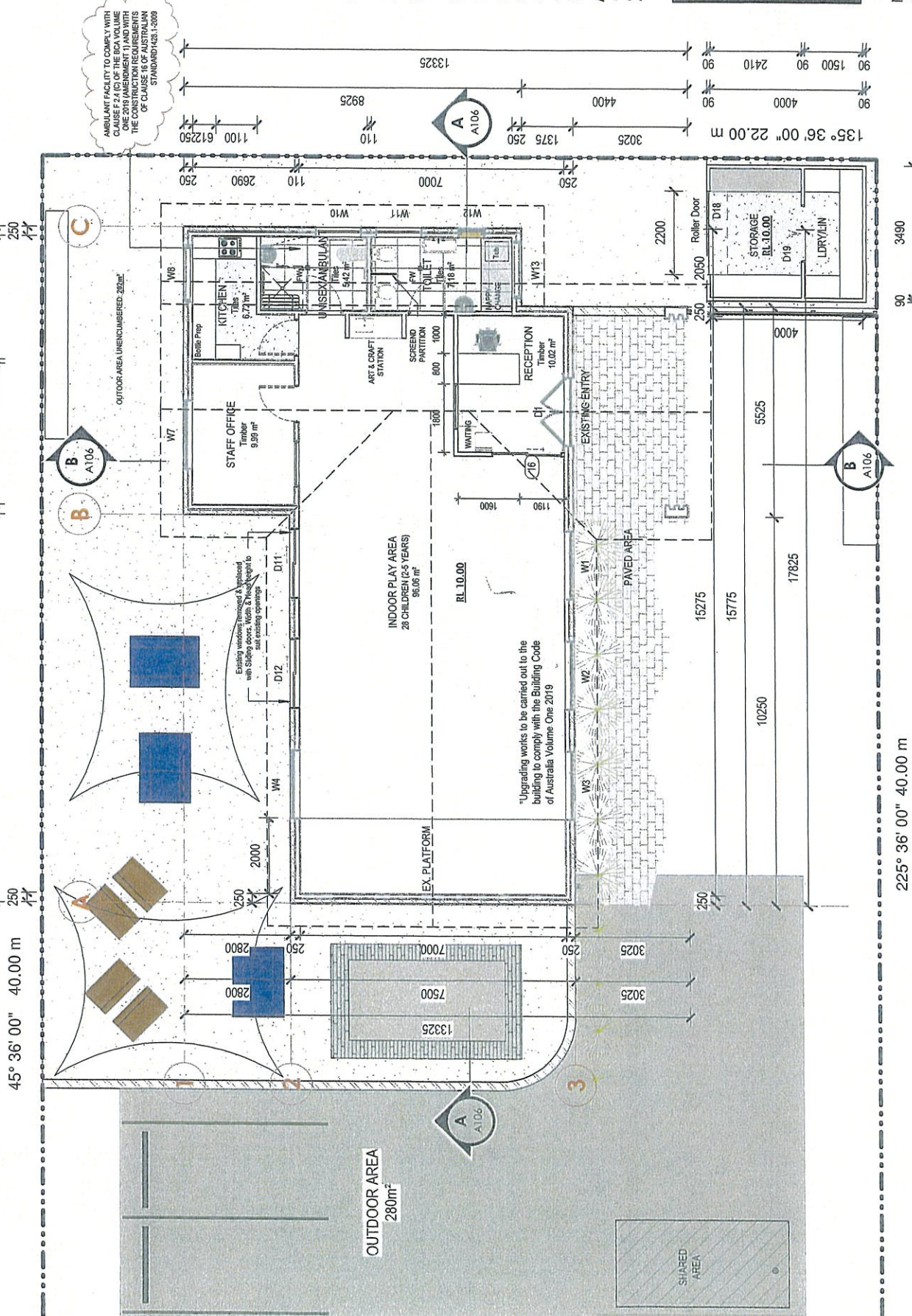
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SHEET NO
 A103

PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384





Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

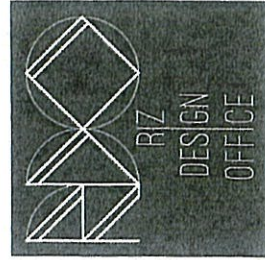
DISCLAIMER:
It is intended that the drawings only represent the visual design of the work. Any technical details are for engineering purposes only. The Contractor/Manufacturer must separately provide all necessary shop drawings or details for construction. All dimensions are to be checked on-site. Any discrepancies are to be referred to RIZDESIGNOFFICE. No liability is accepted for errors in this drawing or any subsequent errors. Check for latest revision trace.
Rizai in cooperation with the local documentation package. Any change or extension work if proposed is to be approved by a structural engineer. All levels to be checked on-site by builder prior to commencement of work.
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ABN: 59 616 652 600

PROJECT LOCATION: CLIENT
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobarr NSW
SHEET TITLE
ELEVATIONS

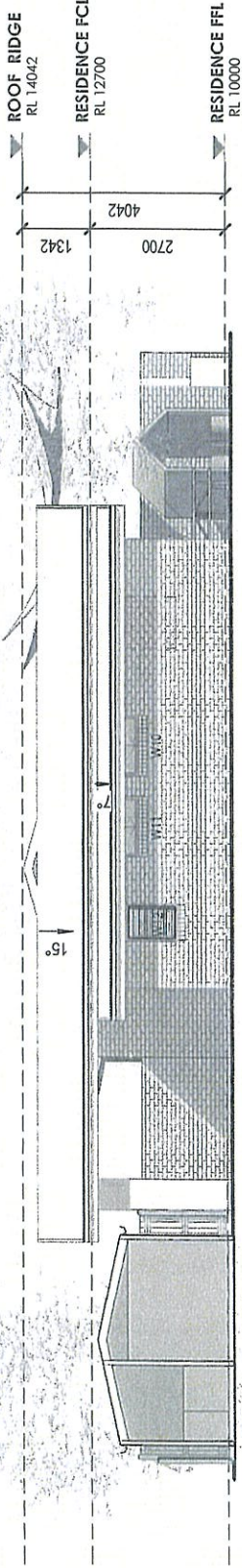
PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED Designer
DESIGNED BY Designer
DATE JUL 2022
SCALE 1 : 100

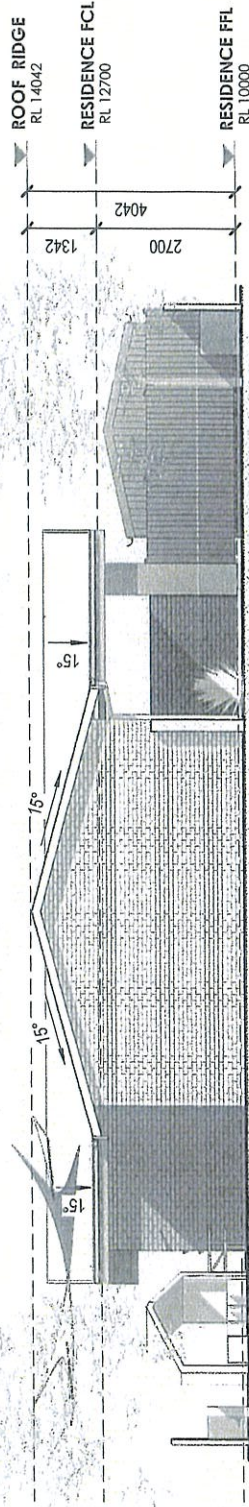
SHEET NO
A104
PROJECT NO
2021175



Nur Rizai Zaini
Accredited Building Designer
Accreditation Number: 6384



NORTH ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100

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DIAL 1100
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Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR BFT	NOV 2022

CONTRACTOR

It is intended that the drawings only represent the typical design of the work. Any structural details are to be confirmed by the Engineer. All dimensions are to be taken from the finished face of the work unless otherwise stated. The Contractor is responsible for checking all dimensions and locations of the work against the site conditions. All dimensions are to be taken from the finished face of the work unless otherwise stated. The Contractor is responsible for checking all dimensions and locations of the work against the site conditions. All dimensions are to be taken from the finished face of the work unless otherwise stated. The Contractor is responsible for checking all dimensions and locations of the work against the site conditions.

Read in conjunction with the usual construction practices. Any drawings or instructions prepared by the Engineer to be approved by a structural engineer. All items to be checked and noted by the Engineer prior to construction in work.

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A/E/3/18/19/02/00

PROJECT LOCATION CLIENT

Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobar NSW

SHEET TITLE

ELEVATIONS

PROJECT STATUS

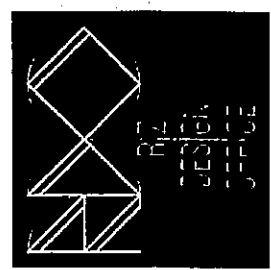
DEVELOPMENT APPLICATION

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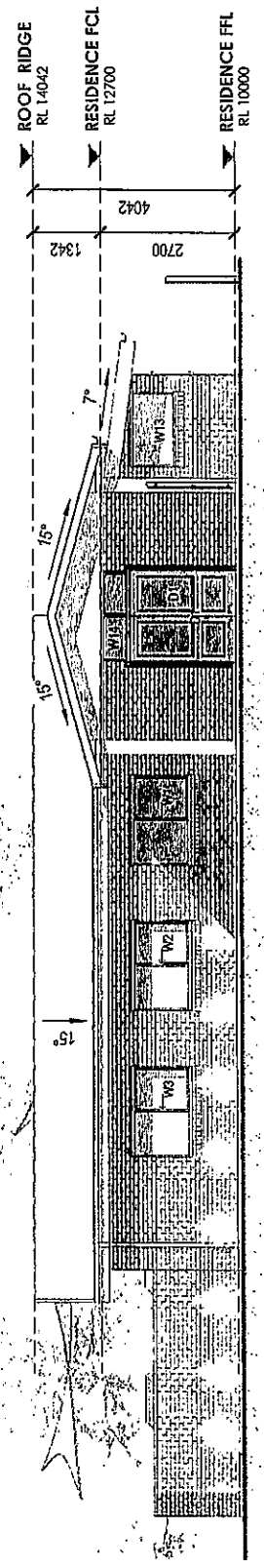
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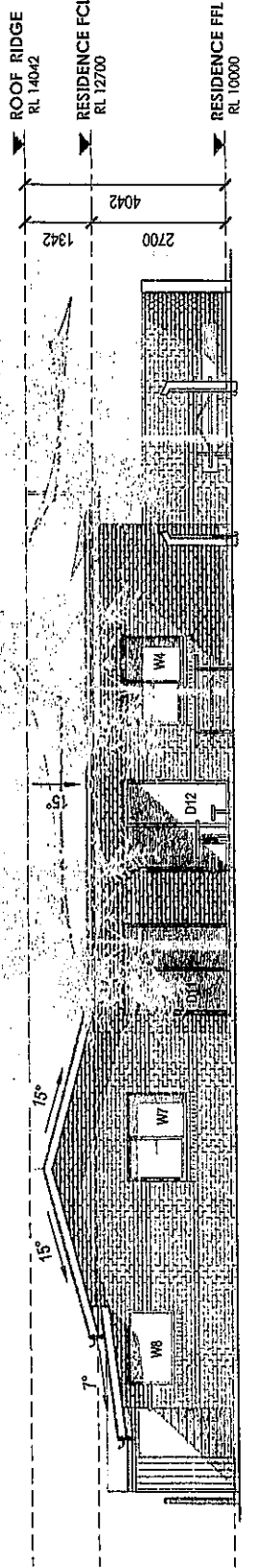
PROJECT NO
 2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6384



EAST ELEVATION
 1: 100



WEST ELEVATION
 1: 100

Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER
This drawing is prepared by the designer and represents the most complete set of documents for the work. Any subsequent changes are the responsibility of the client. The contractor shall be responsible for any amendments or modifications required to comply with any applicable laws, regulations, or codes of practice. Dimensions can be to be checked on-site. The contractor shall be responsible for any variations or changes to the drawings or specifications. No liability shall be accepted for any errors or omissions. This drawing is for information only. Do not rely on this drawing for construction purposes.
Read in conjunction with the site and specification sheets. Any drawings or information not attached to this drawing is to be obtained from a separate source. All levels to be checked on-site by the contractor prior to commencement of work.
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A/NZ 89-16-652-039

PROJECT LOCATION CLIENT
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobarr NSW

SHEET TITLE
SECTIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED
RDO

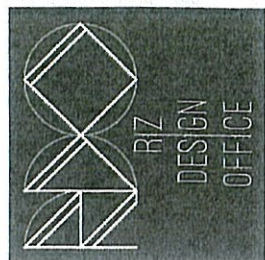
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RDO

DATE
JUL 2022

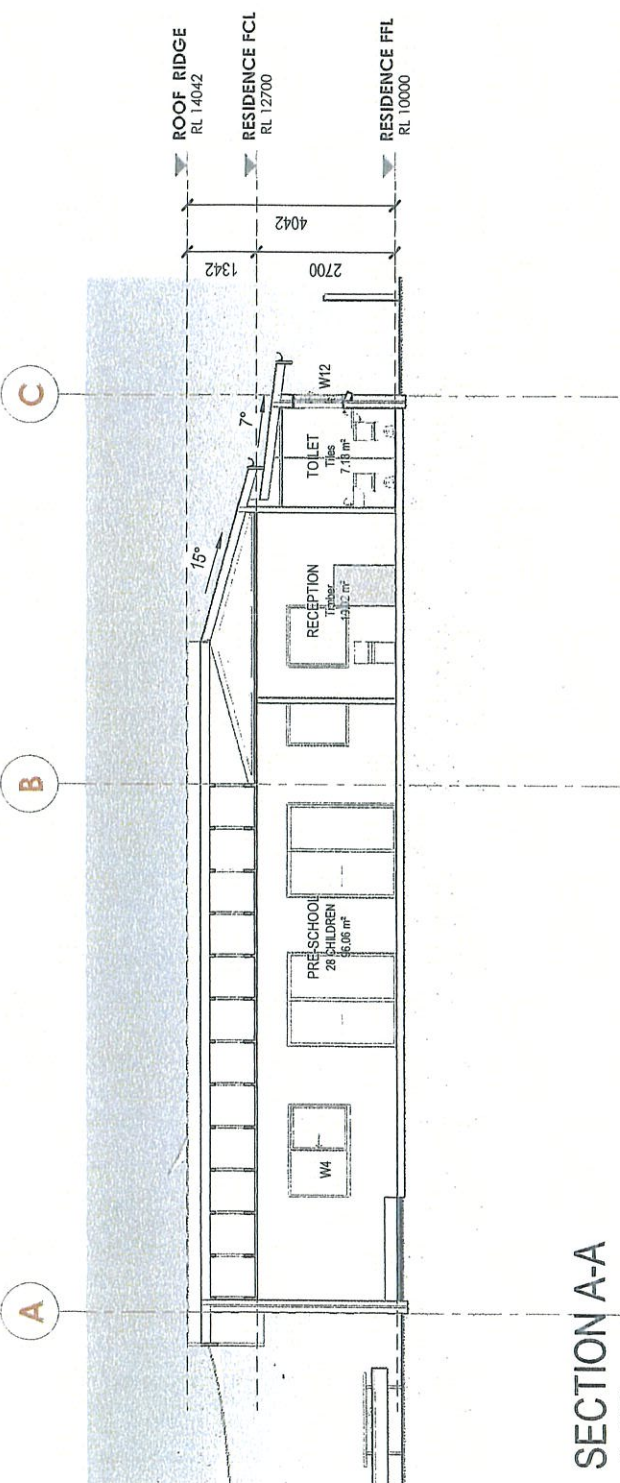
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SHEET NO
A106

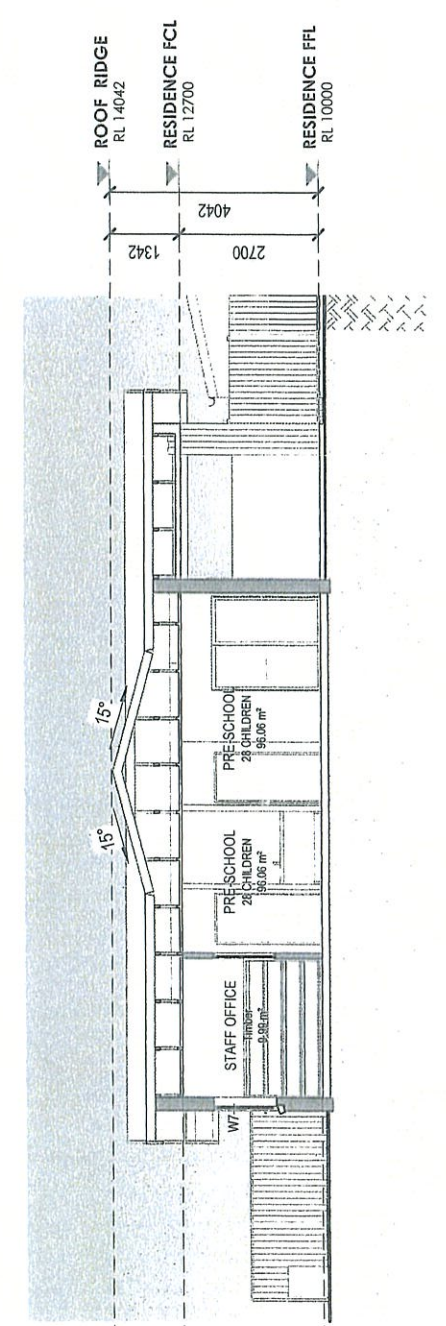
PROJECT NO
2021175



Nur Rizal Zaimi
Accredited Building Designer
Accreditation Number: 63884



SECTION A-A
1 : 100



SECTION B-B
1 : 100



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER

It is noted that the designer only represents the visual design of the work. All necessary permits, approvals and conditions for construction are the responsibility of the client. Any technical details are for guide purposes only. The Contractor shall be responsible for all necessary shop drawings or specifications to be submitted to the relevant authorities for approval. The Designer shall not be responsible for any errors, omissions or delays in the design or construction of the work. The Designer shall not be responsible for any damage to property or persons arising from the design or construction of the work. The Designer shall not be responsible for any cost overruns or delays in the construction of the work. The Designer shall not be responsible for any legal action taken against the Designer or the Contractor. The Designer shall not be responsible for any environmental impact of the design or construction of the work. The Designer shall not be responsible for any safety issues arising from the design or construction of the work. The Designer shall not be responsible for any health and safety issues arising from the design or construction of the work. The Designer shall not be responsible for any fire safety issues arising from the design or construction of the work. The Designer shall not be responsible for any accessibility issues arising from the design or construction of the work. The Designer shall not be responsible for any other issues arising from the design or construction of the work. © Copyright of this drawing is vested with RIZZAI ZAINI ARCHITECTS. RIZZAI ZAINI ARCHITECTS.

PROJECT LOCATION CLIENT
 Proposed Childcare Centre
 Change Of Use - Existing Public
 Workshop at 57 Brough St, Cobarr NSW

SHEET TITLE
 3D OVERALL VIEWS

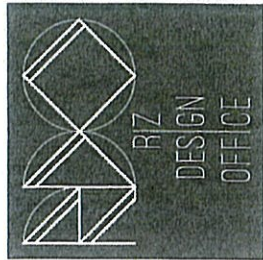
PROJECT STATUS
 DEVELOPMENT APPLICATION

CHECKED RDO
DATE JUL 2022

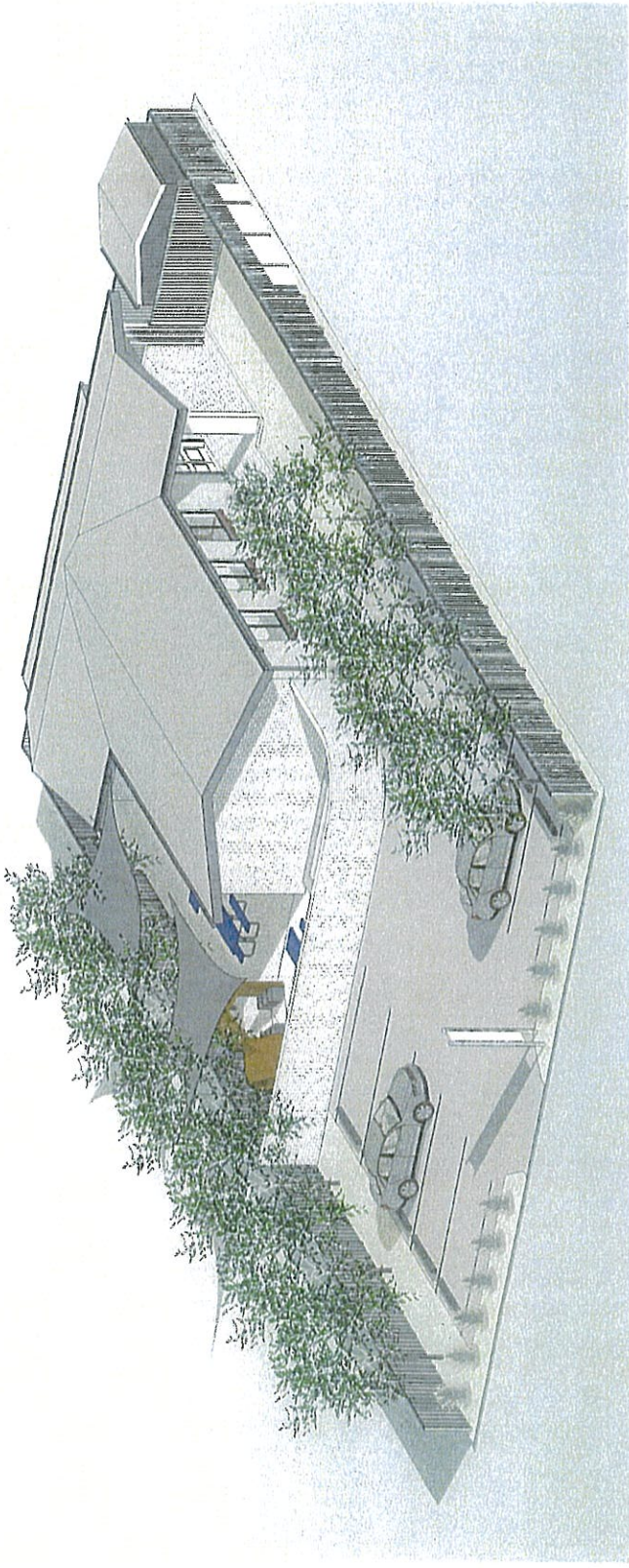
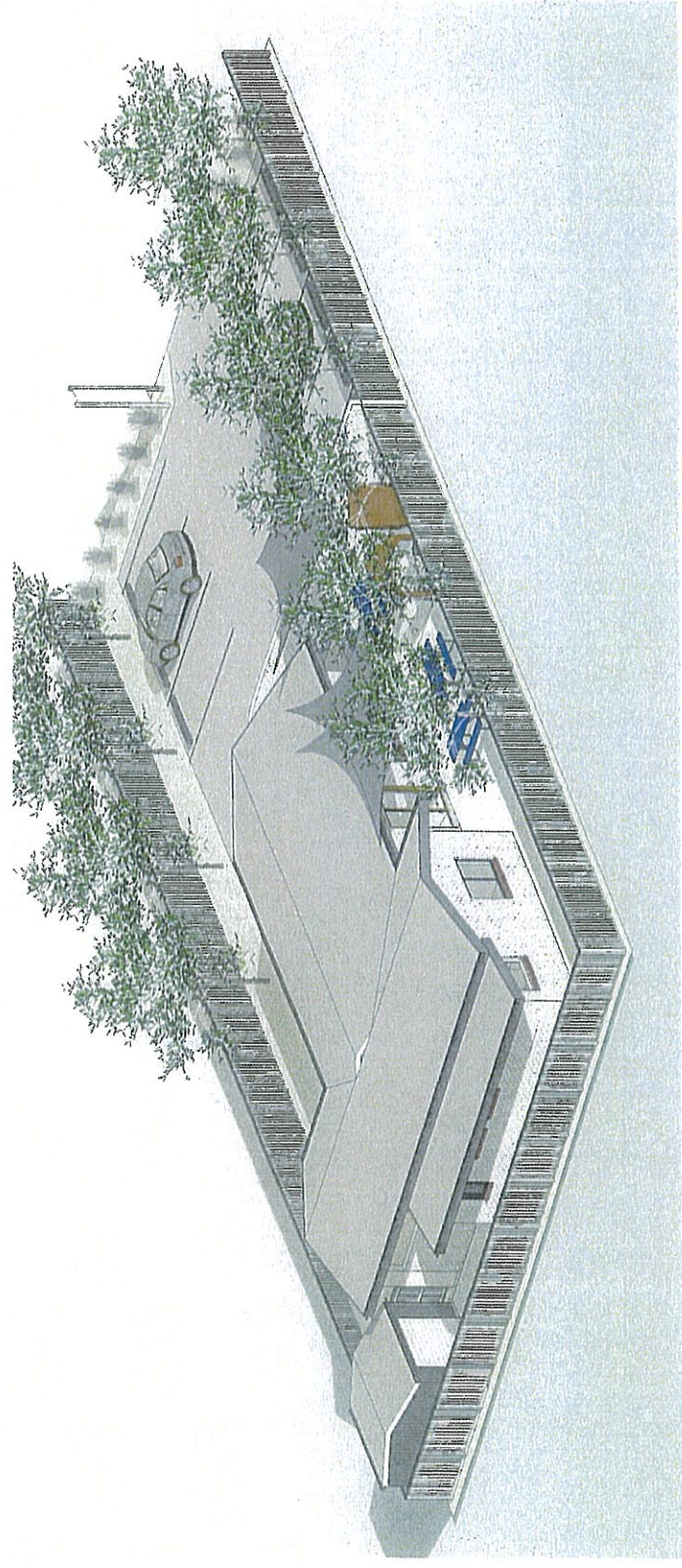
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SCALE

SHEET NO
 A107

PROJECT NO
 2021175



Nur Rizai Zaini
 Accredited Building Designer
 Accreditation Number: 6384



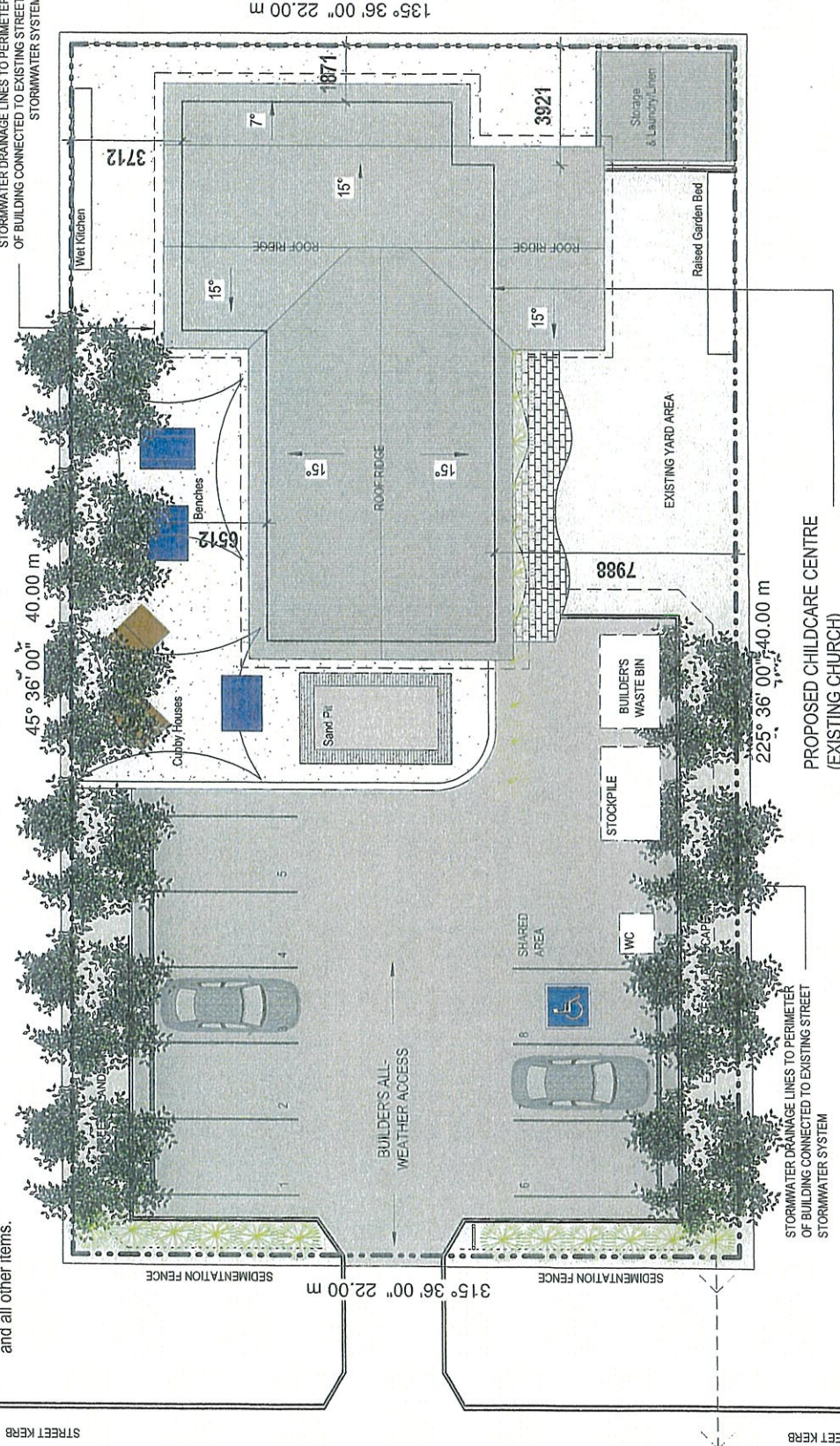
Additional Notes & Conditions

Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Waste management shall be implemented in accordance with the approved Waste Management Plan.

At a minimum, the following measures shall be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
- c) Appropriate provision is to be made to prevent windblown rubbish leaving the site and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.



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Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

DISCLAIMER

We warrant that the drawings represent the best design at the time of preparation. We do not warrant the drawings shall be taken as a contract document. We do not warrant the drawings shall be taken as a contract document. We do not warrant the drawings shall be taken as a contract document.

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PROJECT LOCATION CLIENT
Proposed Childcare Centre
Change Of Use - Existing Public
Worship at 57 Brough St, Cobar NSW

SHEET TITLE
STORMWATERMANAGEMENT

PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED
RDO

DRAWN BY
RDO

DATE
JUL 2022

SCALE
1 : 150

SHEET NO
A108

PROJECT NO
2021175

RZ DESIGN OFFICE

Nur Rizal Zaini
Accredited Building Designer
Accreditation Number: 6384



Rev	Description	Date
A	DA SUBMISSION	JULY 2022
B	REVISED DA FOR RFI	NOV 2022

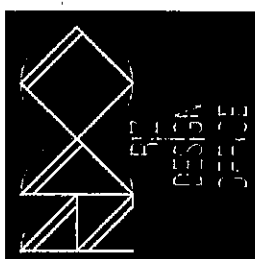
SHEET LABEL:
 As indicated, this drawing only represents the basic design of the work. It is not intended to be used for construction or to be used as evidence of construction. It is the responsibility of the client to ensure that all relevant parties are aware of the design and that any necessary approvals are obtained. This drawing is not to be used for any other purpose. The drawings are the property of the design office and shall remain the property of the design office. No part of this drawing may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the design office.

PROJECT LOCATION CLIENT
Proposed Childcare Centre
 Change Of Use - Existing Public
 Worship at 57 Brough St, Cobarr NSW
SHEET TITLE
3D EXPLODED VIEW

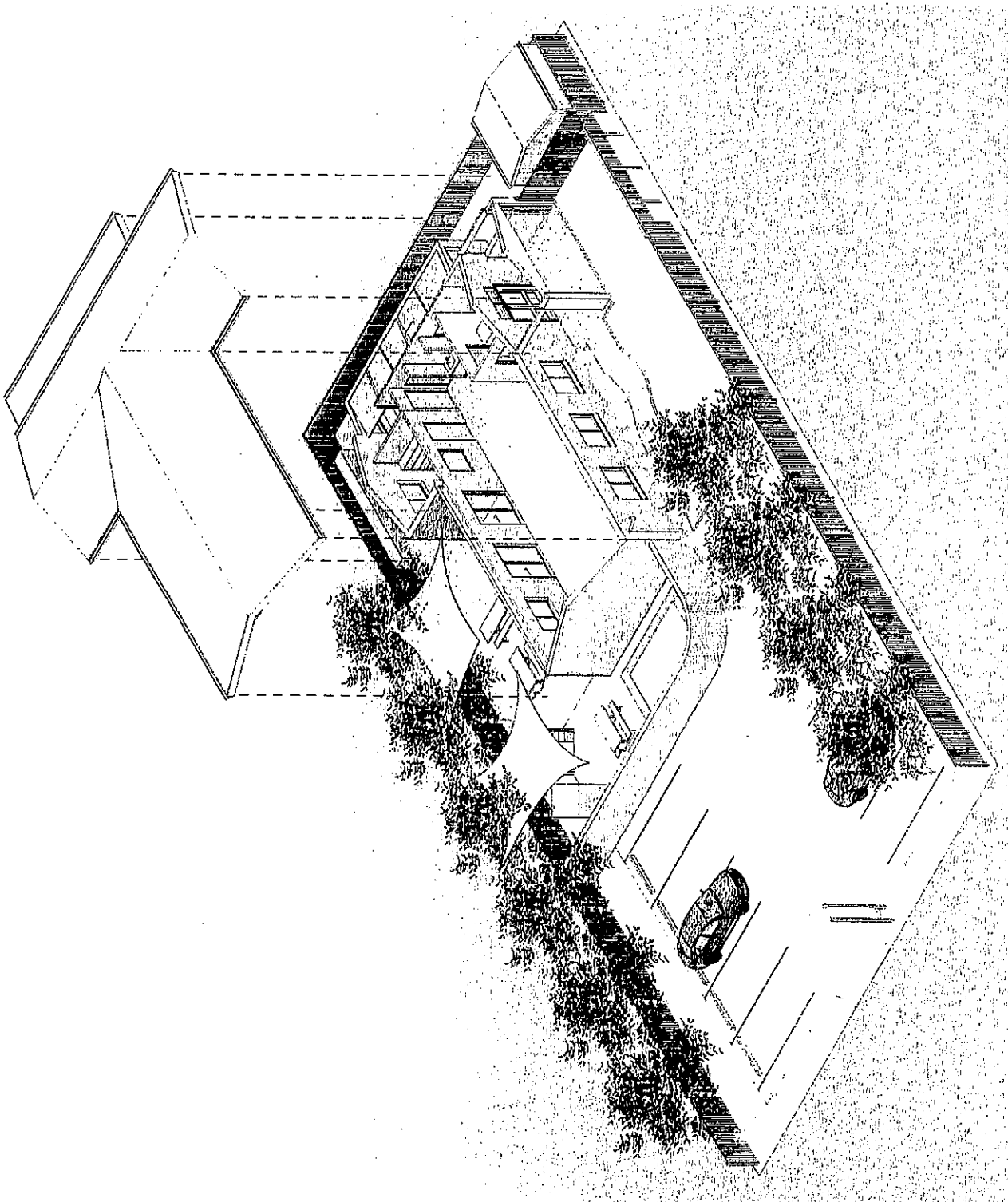
PROJECT STATUS
DEVELOPMENT APPLICATION

CHECKED
 RDO
DRAWN BY
 RDO
DATE
 JUL 2022
SCALE

SHEET NO
A110
PROJECT NO.
2021175



Nur Rizal Zaini
 Accredited Building Designer
 Accreditation Number: 6304



GENERAL CONSTRUCTION NOTES

BUILDING MATERIALS

BUILDING CONSTRUCTION IS TO CONSIST OF REINFORCED CONCRETE RAMPS AND SLABS (TO ENGINEERS DETAILS).
ALL LIGHT WEIGHT CLADDING TO BE CONSTRUCTED IN ACCORDANCE WITH N.C.C. AND AS 2908.
ALL LIGHT WEIGHT TIMBER WALL FRAMES TO BE CONSTRUCTED IN ACCORDANCE WITH N.C.C. AND AS1684.

ALL STRUCTURAL STEEL (IF APPLICABLE) TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH N.C.C. AND AS/NZS4100.
ALL LININGS, MATERIALS AND ASSEMBLY TO COMPLY WITH C1.10 OF THE N.C.C. REQUIREMENTS.

ALL CONSTRUCTION AND BUILDING MATERIALS TO COMPLY WITH RELEVANT N.C.C. REQUIREMENTS AND AUSTRALIAN STANDARD REGULATIONS.

TERMITE PROTECTION (WHERE APPLICABLE)

TO PROTECT THE BUILDING FROM ATTACK BY TERMITES OR OTHER PESTS, TERMITE SHIELDS OR OTHER SUITABLY APPROVED PHYSICAL BARRIER COMPLYING WITH AS3660 ARE TO BE PROVIDED.

WATERPROOFING REQUIREMENTS

ALL WET AREAS ARE TO HAVE AN APPROVED WATERPROOFING MEMBRANE IN ACCORDANCE WITH THE N.C.C. REQUIREMENTS AND AS3740 AND AS4854.

DOOR AND HANDLE REQUIREMENTS

ALL EXTERNAL DOORS TO BE 40MM SOLID SORE DOORS WITH RAVEN DOOR SEALS RP1 (FRAMES) AND RP8 (BOTTOM SEAL) AND TO HAVE R28 INSULATION RATING.
LATCH OPERATING DEVICES FOR ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO AN EXIT DOOR TO COMPLY WITH N.C.C. CLAUSE D2. 21.
ALL EXIT DOOR MUST BE ABLE TO OPEN BY A FORCE NO GREATER THAN 110N IN ACCORDANCE WITH N.C.C. CLAUSE 2.19.
ALL EXTERNAL AND INTERNAL DOOR FURNITURE TO BE LEVER HANDLES FOR EASY ACCESS THAT ARE DERESSED DOWNWARD.

DISABLED ACCESS REQUIREMENTS

PROVIDE DISABLE ACCESS IN ACCORDANCE WITH N.C.C. CLAUSE D3.2 & D3.3 AND AS1428. PROVIDE IDENTIFICATION ACCESSIBLE FACILITIES, SERVICES AND FEATURE IN ACCORDANCE WITH N.C.C. D3.6 & D3.8 AND AS1428. IF HEARING AUGMENTATION SYSTEM IS REQUIRED, DESIGN AND INSTALL SYSTEM TO MEET N.C.C. D3.7 AND AS1428.

COUNCIL AND DEECD NOTES

SPACE REQUIREMENTS

THIS CENTRAL WILL INCLUDE:
AN ADMINISTRATION ROOM FOR SERVICE AND PRIVATE CONSULTATION BETWEEN STAFF AND PARENTS – INDICATED ON PLANS AS OFFICE.
A RESPIRE ROOM FOR STAFF – INDICATED ON PLANS AS STAFF ROOM.

ALL INTERNAL PLAY AREAS HAVE BEEN DESIGNED TO EXCEED A CLEAR UNENCUMBERED PLAY SPACE OF 3.25 SQUARE METERS PER CHILD.
ALL EXTERNAL PLAY AREAS HAVE BEEN DESIGNED TO EXCEED A CLEAR USABLE PLAY SPACE OF 7 SQUARE METERS PER CHILD.
SHADED AREAS FOR THE OUTDOOR PLAY AREAS HAVE BEEN PROVIDED AND EXCEED THE REQUIREMENTS PUBLISHED BY THE NEW SOUTH WALES CANCER COUNCIL UNDER THE TITLE "THE SHADE HANDBOOK".

LAUNDRY

THIS CENTRE HAS A LAUNDRY ROOM ON THE PREMISES FOR THE PURPOSE OF CLEANING SOILED CLOTHES AND THE LIKE.
ALSO PROVIDED ARE SAFE, SANITARY FACILITIES FOR THE STORAGE OF ITEMS BEFORE LAUNDERING.
THE WASHING MACHINE AND TUBS IN THE LAUNDRY ARE BOTH CONNECTED TO THE HOT AND COLD WATER.

CRAFT PREPARATION FACILITIES

CRAFT AREAS WITH INCLUDE A 45 LITRE DROP TUB INTO THE BENCH TOP OF CUPBOARDS WITH CHILD PROVE LOCKS HAVE BEEN PROVIDED IN EVERY PLAY ROOM. THESE HAVE BEEN LOCATED WAY FROM ANY FOOD PREPARATION AREAS AND NAPPY CHANGING FACILITIES

FOOD PREPARATION FACILITIES

A KITCHEN AND PANTRY FACILITY, SEPARATE TO ALL CHILD AREAS HAS BEEN PROVIDED FOR FOOD PREPARATION, INCLUSIONS ARE: STOVE, MICROWAVE, SINK (HOT AND COLD WATER), REFRIGERATOR, FREEZER AND PANTRY.

THE KITCHEN HAS A CHILD PROVE DOOR AND HANDLE INSTALLED TO PREVENT ACCESS TO ANY HARMFUL SUBSTANCE EQUIPMENT OR AMENITY BY THE CHILDREN. BOTTLE PREPARATION AREAS HAVE BEEN PROVIDED WITH A CHILD PROOF DOOR AND HANDLE TO PREVENT ACCESS BY CHILDREN. THESE AREAS ARE AWAY FROM THE NAPPY-CHANGING FACILITIES.

TOILET AND WASHING FACILITIES

ALL SANITARY FACILITIES WILL COMPLY WITH THE REQUIREMENTS FOR A CLASS 9B BUILDING (EARLY CHILDHOOD CENTRE) OF THE N.C.C. CLAUSE F2.3
ALL DISABLE W.C AREAS TO COMPLY WITH AS1428 PARTS 1-3.

NAPPY CHANGE FACILITIES

NAPPY CHANGE FACILITIES WILL BE PROVIDED IN A SEPARATE AREA NOT ACCESSIBLE TO CHILDREN UNLESS SUPERVISED AND WILL INCLUDE SOLID BENCHES (900MM WIDE), IMPERVIOUS WASHABLE MATS (1 PER 10 CHILDREN), HAND WASHING FOR STAFF, SANITARY FACILITIES FOR SOILED NAPPIES, STORAGE FOR CLEAN NAPPIES, AND A CONTAMINATED WASTE DISPOSAL UNIT.
ALSO PROVIDED IN AN AGE APPROPRIATE WASHING FACILITY WITH TEMPERATURE REGULATED HOT AND COLD RUNNING WATER IN THE NAPPY CHANGE AREA.

SLEEPING FACILITIES

THE DEDICATED COT ROOMS ARE DESIGNED TO ALLOW EASY ACCESS BETWEEN EACH COT. ALL COTS TO COMPLY WITH AS/NZS2172 OR AS/NZS2195.
THERE WILL BE AN ADEQUATE NUMBER OF COTS/SLEEPING MATS FOR EACH CHILD AND CLEAN BEDDING FOR EACH CHILD EACH TIME.
NO CHILD OVER THE AGE OF 2 (EXCEPT WITH WRITTEN CONSENT FROM PARENTS) SLEEPS IN A ROOM WITH AN ADULT SLEEPING. NO CHILD OVER THE AGE OF 7 WILL SLEEP IN THE SAME ROOM AS ANOTHER CHILD OF THE OPPOSITE SEX WHO IS NOT A

FIRST AID KITS

THE CENTRE MUST BE EQUIPPED WITH A SUITABLE AND FULLY STOCKED FIRST AID KIT, A KIND APPROVED BY WORK-COVER AUTHORITY UNDER THE OH&S ACT 2000.
THE FIRST AID KIT MUST BE INACCESSIBLE TO CHILDREN, BUT READILY ACCESSIBLE TO ALL STAFF.
ADULT AND CHILD CARDIO-PULMONARY RESUSCITATION CHARTS MUST BE DISPLAYED IN A PROMINENT POSITION BOTH INSIDE AND OUT.

Rev	Description	Date
A <td>DIA SUBMISSION<td>JULY 2022</td></td>	DIA SUBMISSION <td>JULY 2022</td>	JULY 2022
B <td>REVISED DIA FOR RFI<td>NOV 2022</td></td>	REVISED DIA FOR RFI <td>NOV 2022</td>	NOV 2022

DISCLAIMER:

It is intended that this drawing shall represent the visual design of the work. Any technical details are for reference purposes only. The Contractor shall be responsible for ensuring that the work is constructed in accordance with the specifications and drawings. The Contractor shall be responsible for ensuring that the work is constructed in accordance with the specifications and drawings. The Contractor shall be responsible for ensuring that the work is constructed in accordance with the specifications and drawings.

Read in conjunction with the local documentation package. Any change or omission work if required to be designed by a structural engineer. All loads to be checked onsite by builder prior to commencement of work.
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RIZ 50 416 423 09

PROJECT LOCATION QUERT

Proposed: Childcare Centre
Change Of Use - Existing Public
Worship at 67 Brough St, Coblar NSW
DEVELOPMENT NOTES

SHEET TITLE

PROJECT STATUS

DEVELOPMENT APPLICATION

CHECKED

RDO

DATE

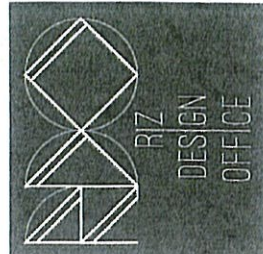
JUL 2022

SHEET NO.

A112

PROJECT NO.

2021175



Nur Rizal Zaini
Accredited Building Designer
Accreditation Number: 6384