

TREE PROTECTION ZONE LEGEND
 REFER TO ARBORICULTURAL IMPACT ASSESSMENT REPORT BY ALLIED TREE CONSULTANCY REFERENCE NO. D3303 DATED FEBRUARY 2017

- NOTES:**
- KERB AND GUTTERING - STANDARD PROFILE MATCHING THE EXISTING LEVELS IN ALL RELEVANT STREETS BOUNDED BY THIS DEVELOPMENT SITE.
 - FOOTPATHS AND NATURE STRIP AREA (EXCLUDING THE AREA BENEATH THE CANOPY LINE OF THE FIG TREE - FULL WIDTH CONCRETE FOOTPATH HAVING A SURFACE AND GRADIENT CONSISTENT WITH THE AUSTRROADS "GUIDE TO ROAD DESIGN: PART 6A PEDESTRIAN AND CYCLIST PATHS" AND SHALL TAKE INTO CONSIDERATION UTILITY INFRASTRUCTURE AND ANY STREET TREES (EXCLUDING THE FIG TREE IN MARSHALL STREET).
 - PEDESTRIAN AREA BELOW FIG TREE CANOPY LINE: AN ELEVATED PEDESTRIAN PATHWAY THAT IS PERMEABLE AND CONSISTENT WITH THE AUSTRROADS "GUIDE TO ROAD DESIGN: PART 6A PEDESTRIAN AND CYCLIST PATHS"

SURFACE OSD
 360m² x 0.09m = 32.4m³
 SSR 5YRS = 2.87 m³
 SSR 100 YRS = 32.4 m³
 TWL = 238.45
 IL = 238.27

OSD CONTROL PIT
 RL - 238.27
 IL - 237.82

KERB TO ACT AS TOP OF 4m WEIR TO BE RL 238.45 SHOWN SHADED

2 x 200x100 RHS GALVANISED, CONNECTED TO KERB AS PER COBAR COUNCIL DETAILS AND SPECIFICATIONS
 IL - 237.74 - TBC PRIOR CONSTRUCTION
 Q5 = 61.0L/S

TRENCH GRATE SCHEDULE

TG1	225 HDG TG
TG2	150 LDG TG

PIT SCHEDULE

PIT	GRATE	SIZE	RL	IL
P1	CLASS D	900 x 900	238.27	237.82
P2	CLASS D	600 x 600	238.33	237.96
P3	CLASS D	600 x 600	238.40	237.04
P4	CLASS D	900 x 900	238.52	238.12
P5	CLASS D	600 x 600	238.65	238.15
P6	CLASS D	600 x 600	238.65	238.20
P7	CLASS D	600 x 600	238.65	238.25
P8	CLASS D	600 x 600	238.65	238.30
P9	CLASS D	600 x 600	238.75	238.35
P10	CLASS D	450 x 450	238.55	238.02
P11	CLASS D	450 x 450	238.55	238.00
P12	CLASS D	600 x 600	238.60	238.18
P13	CLASS D	600 x 600	238.60	238.00
P14	CLASS D	600 x 600	238.32	237.90

ISSUE	AMENDMENT	DATE
1	ISSUED FOR DISCUSSION	31/10/17
2	TPZ ADDED	01/03/18
3	MINOR AMENDMENTS	08/11/18
4	ISSUE FOR COORDINATION	30/01/20
5	MINOR AMENDMENTS	30/06/21
6	MINOR AMENDMENTS TO STORMWATER DRAINAGE LAYOUT	15/07/22

SCALE 1:100 @ A1

DO NOT SCALE IF IN DOUBT ASK

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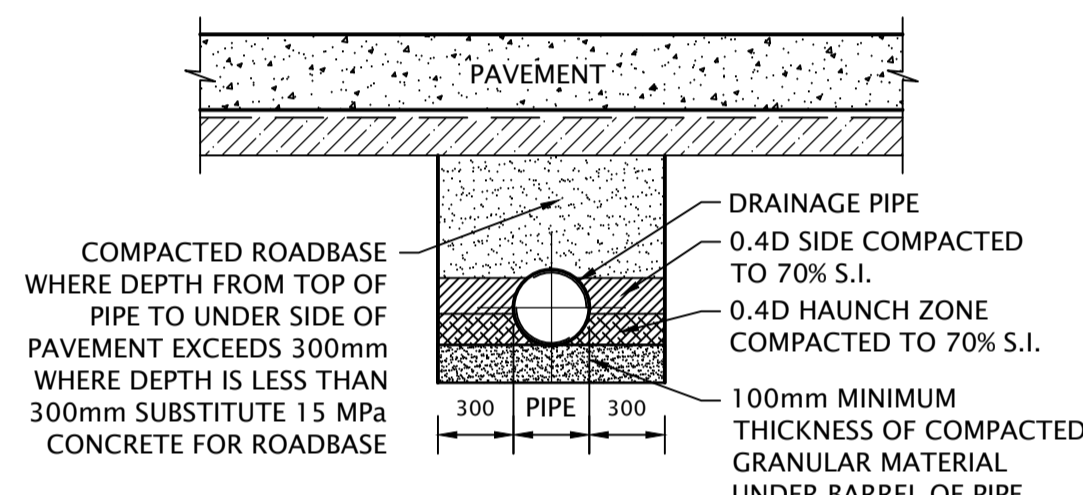
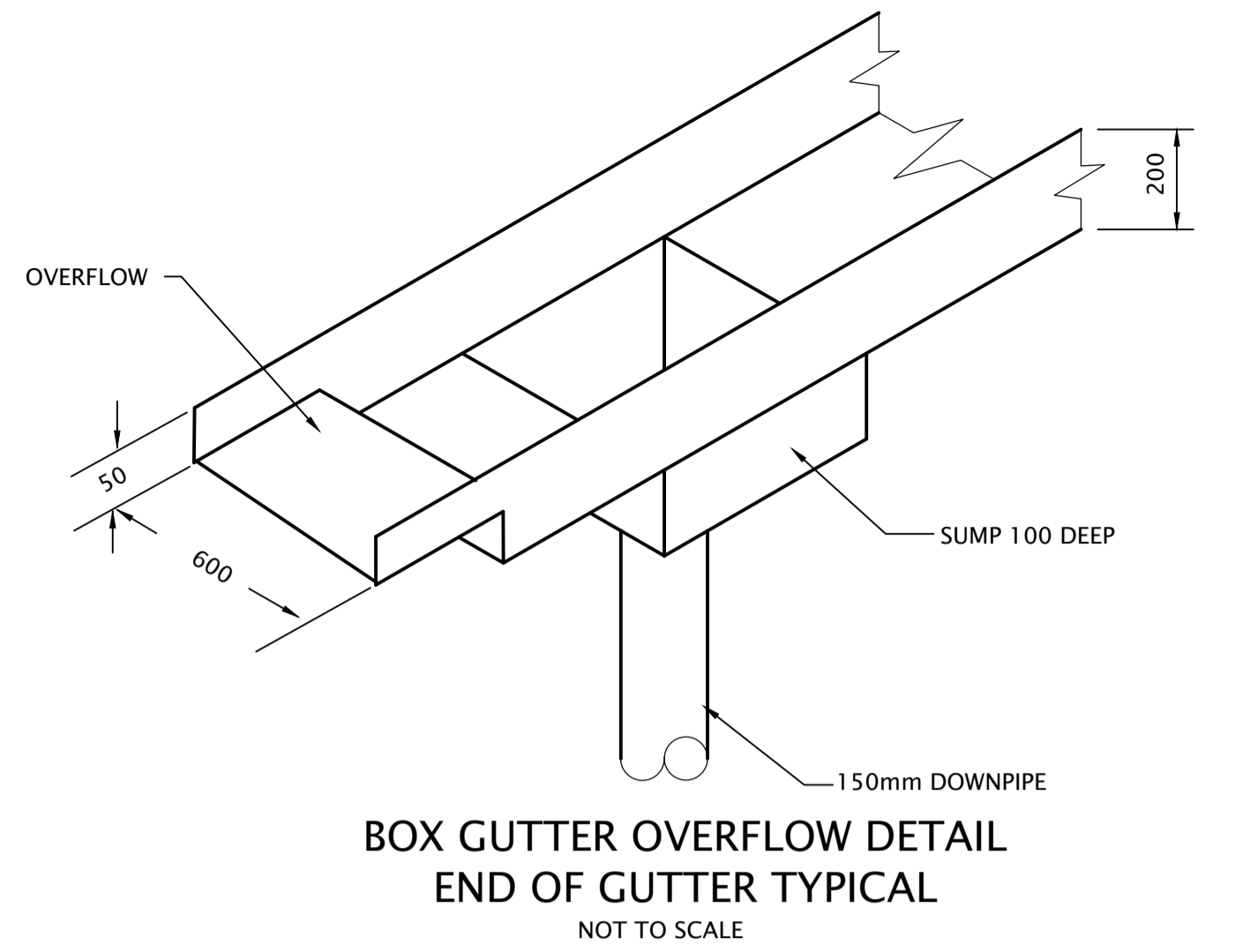
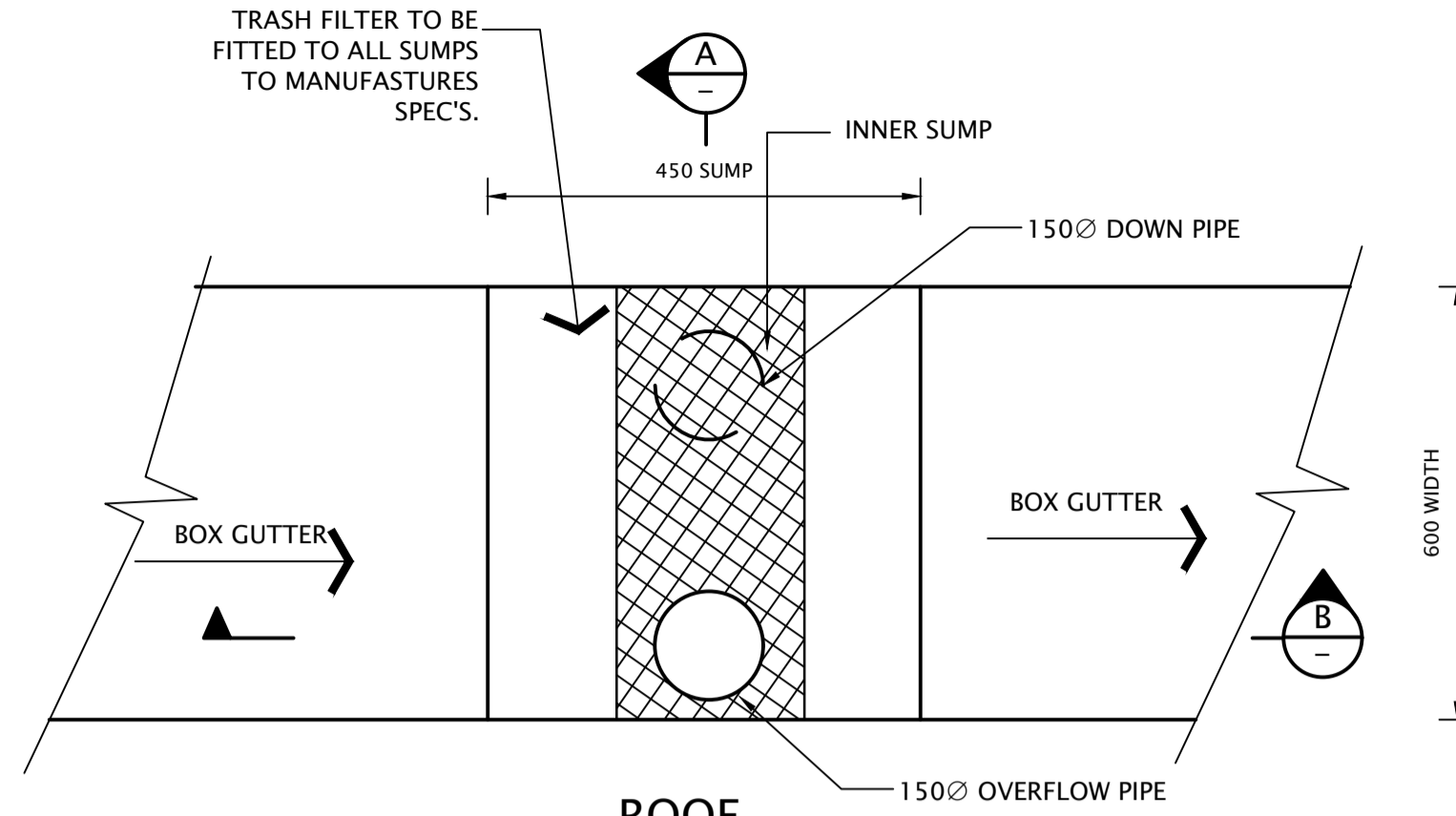
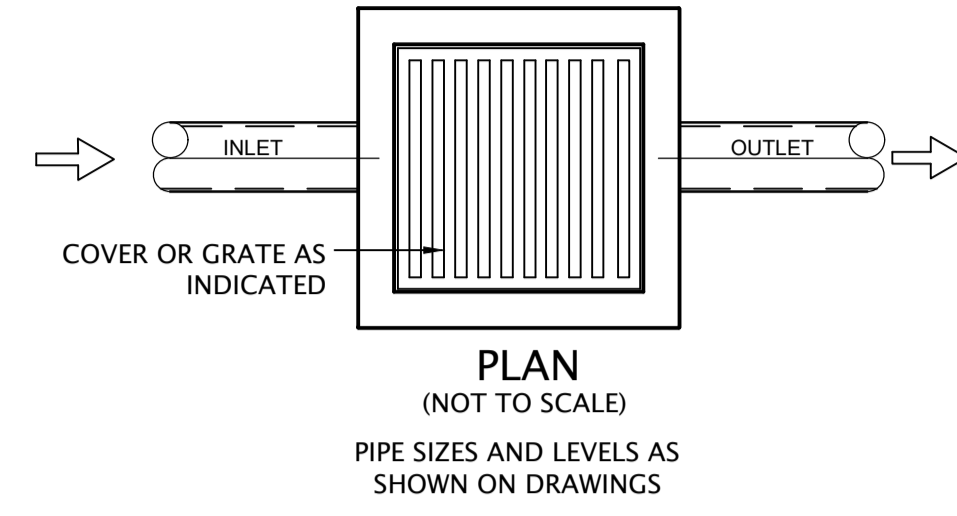
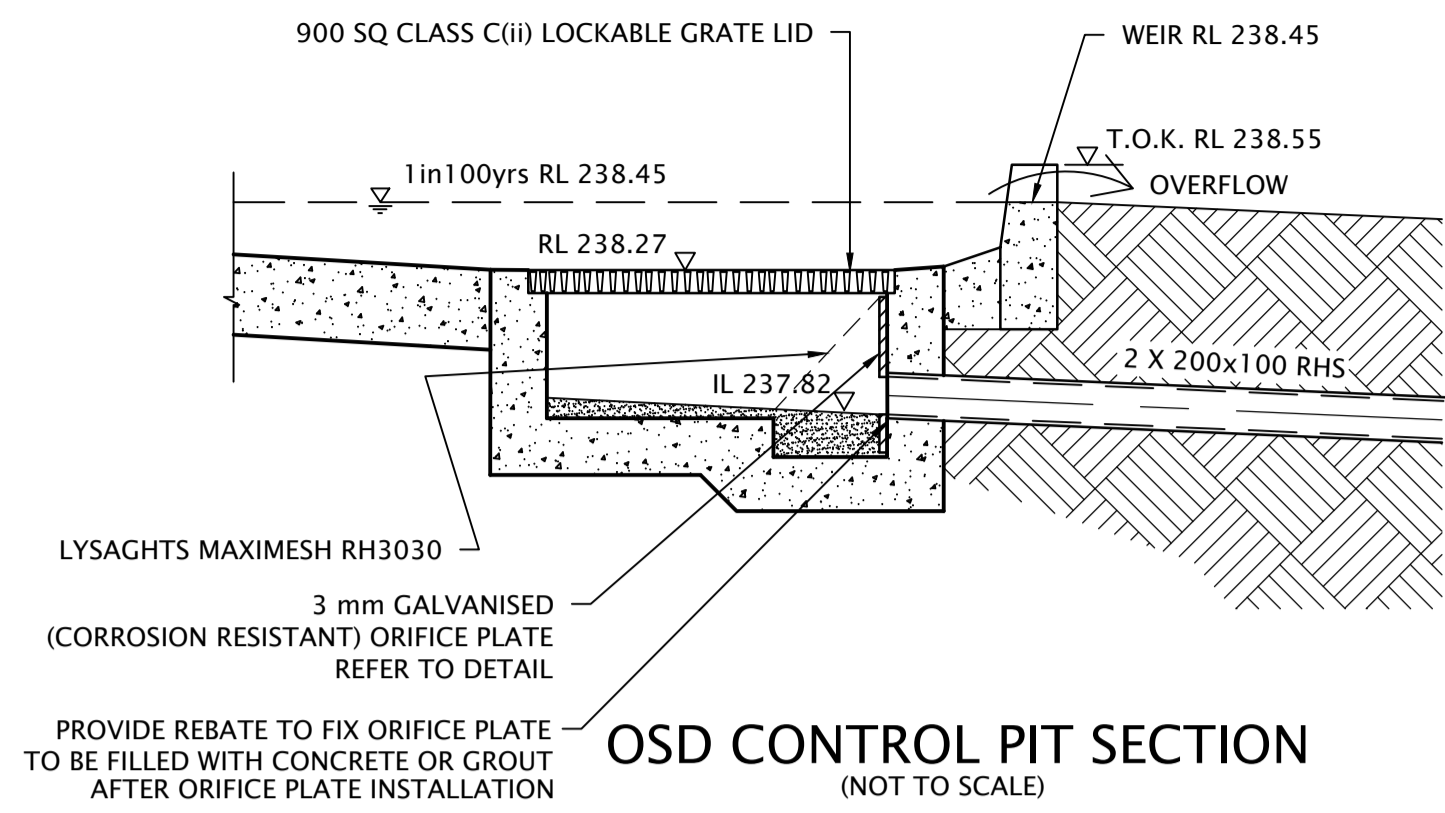
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Project: PROPOSED IGA SUPERMARKET

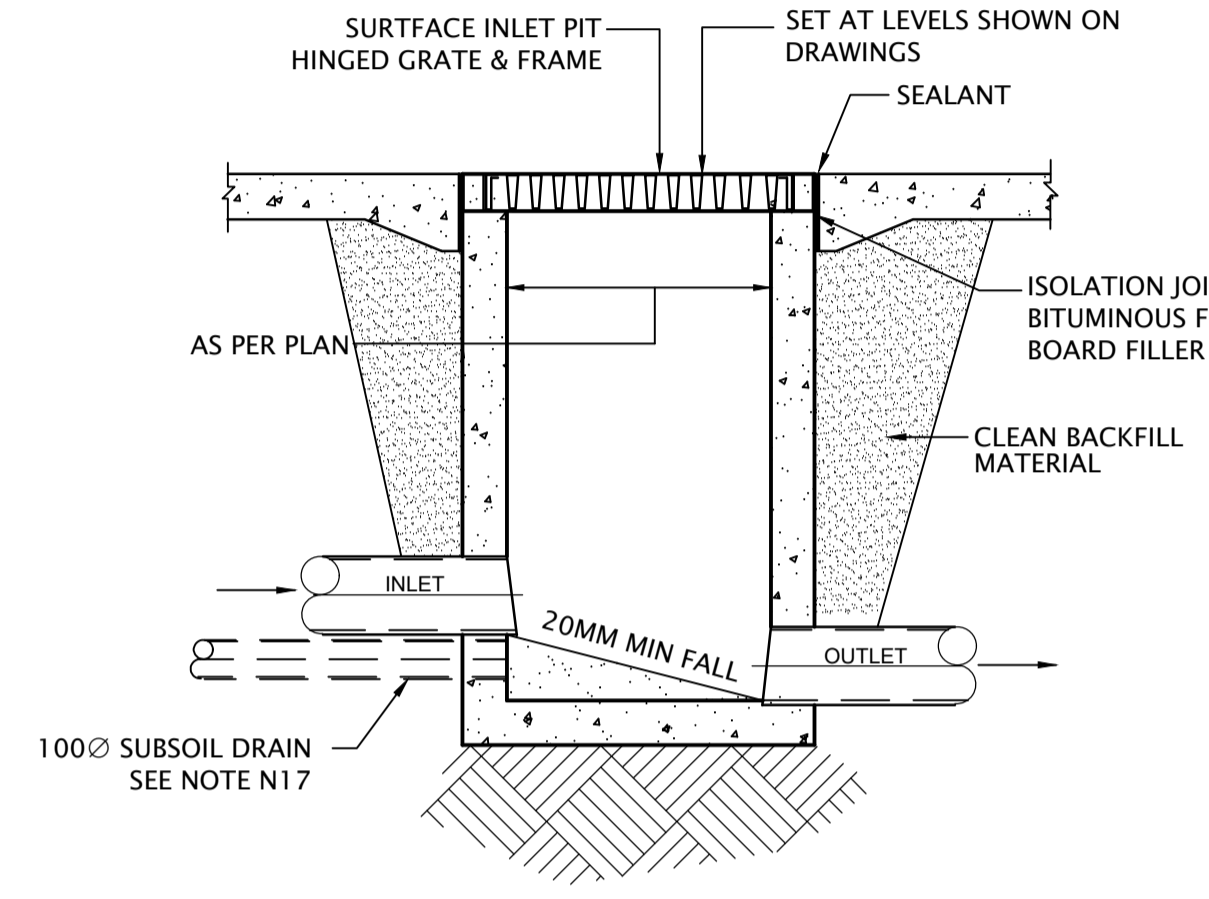
At: CNR MARSHAL & LEWIS STREET
 COBAR, NSW

Client: THE KHAN GROUP

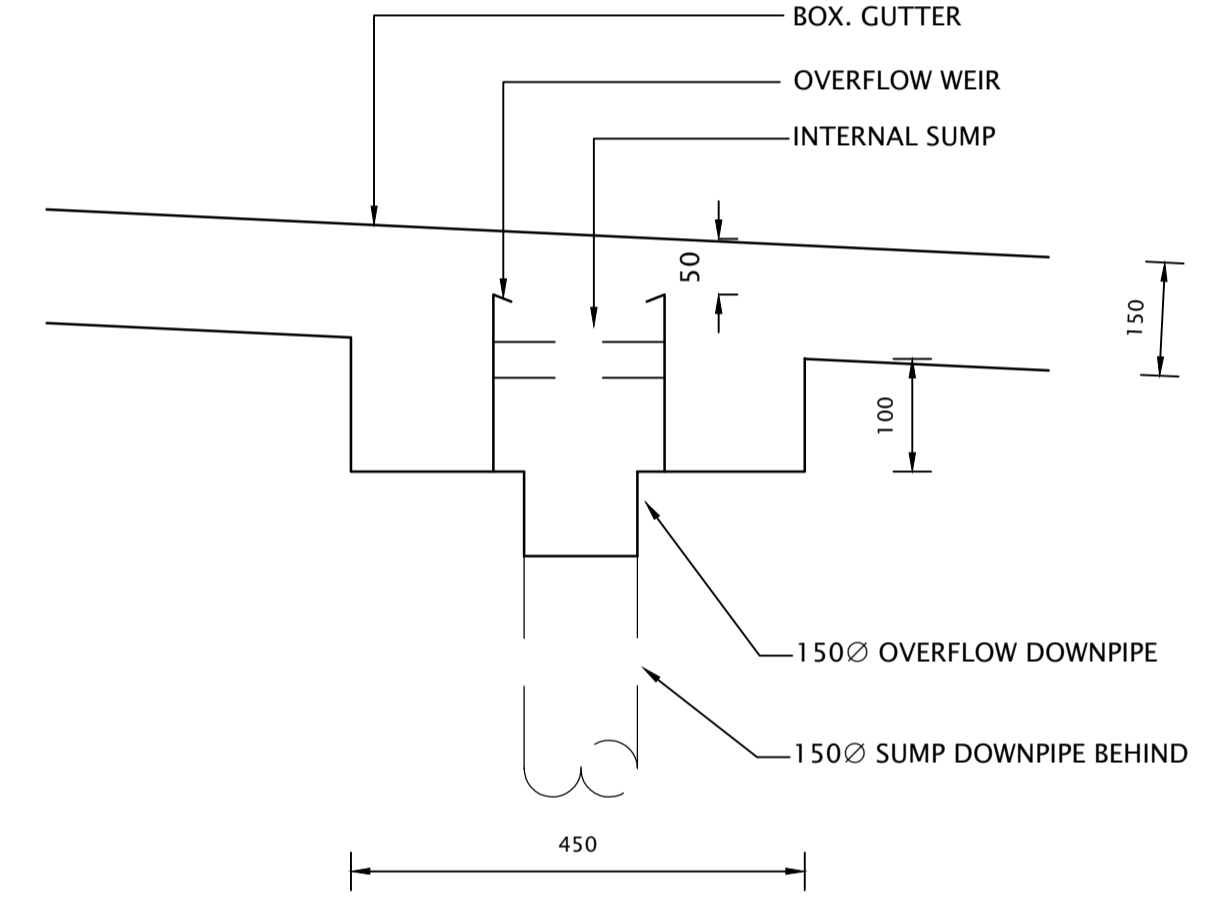
SCALES	AS SHOWN	DATE PLOTTED	15.07.22
DRAWN	M.S.	DATUM A.H.D.	
DESIGNED	G.U.	DATE CHK'D	
PROJECT No	DWG	REVISION	
17096	SW2	6	



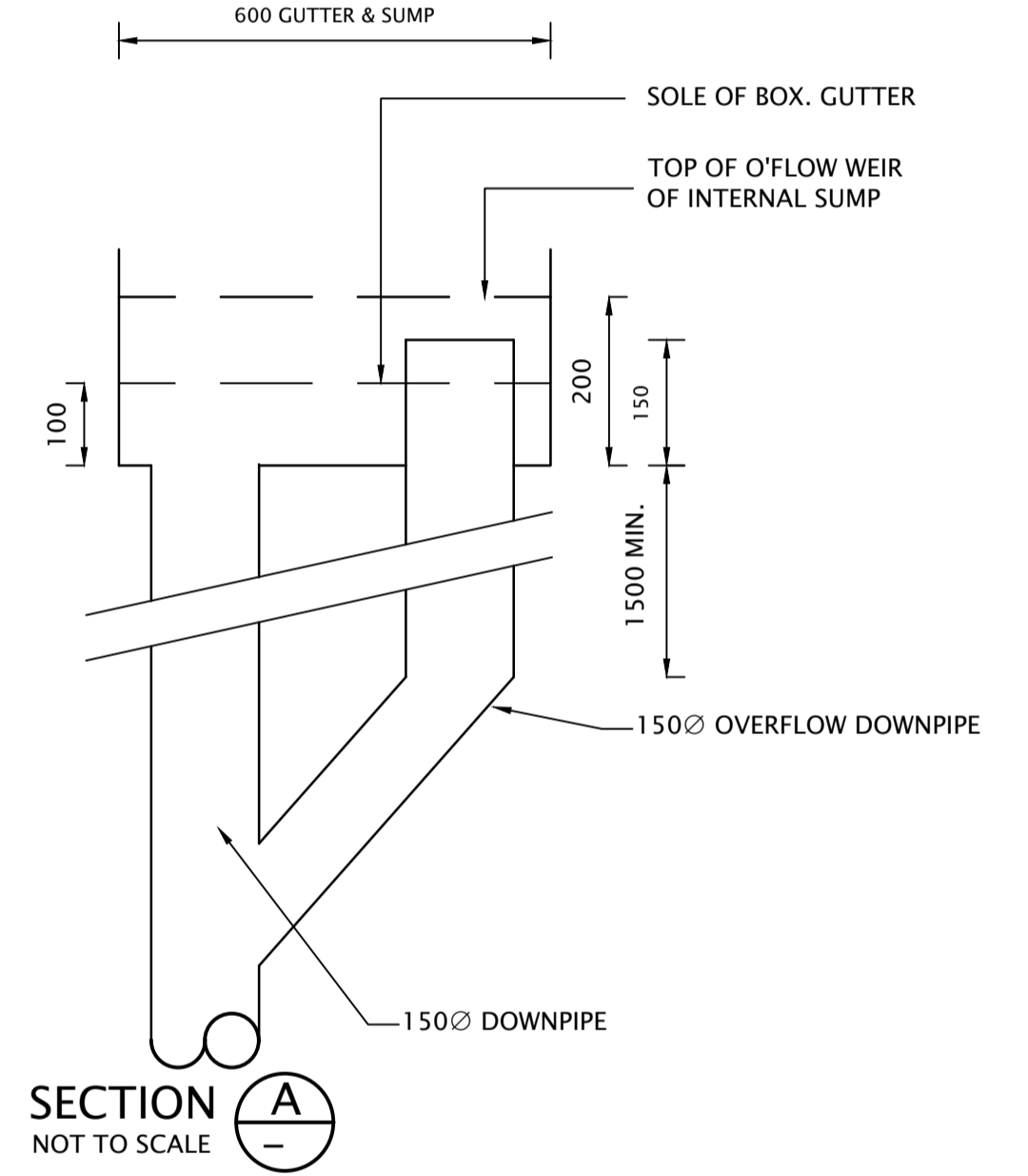
SECTION THROUGH STORMWATER DRAIN UNDER PAVEMENT (NOT TO SCALE)



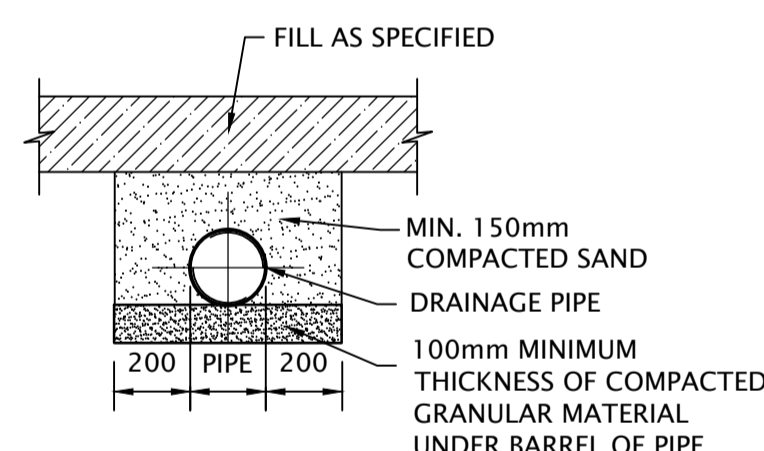
SECTION THROUGH SURFACE STORMWATER PIT (TYPICAL) (NOT TO SCALE)



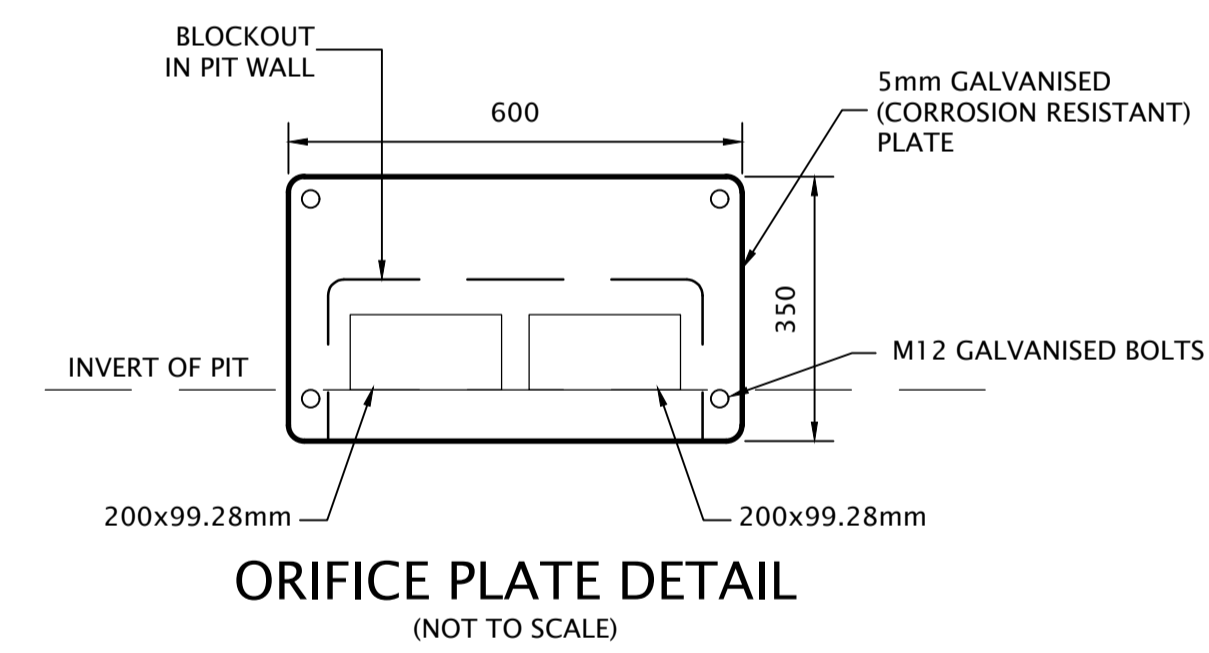
SECTION B (NOT TO SCALE)



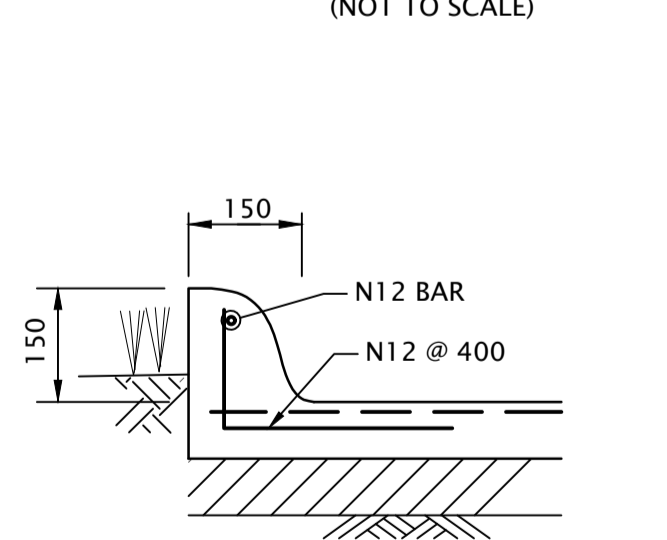
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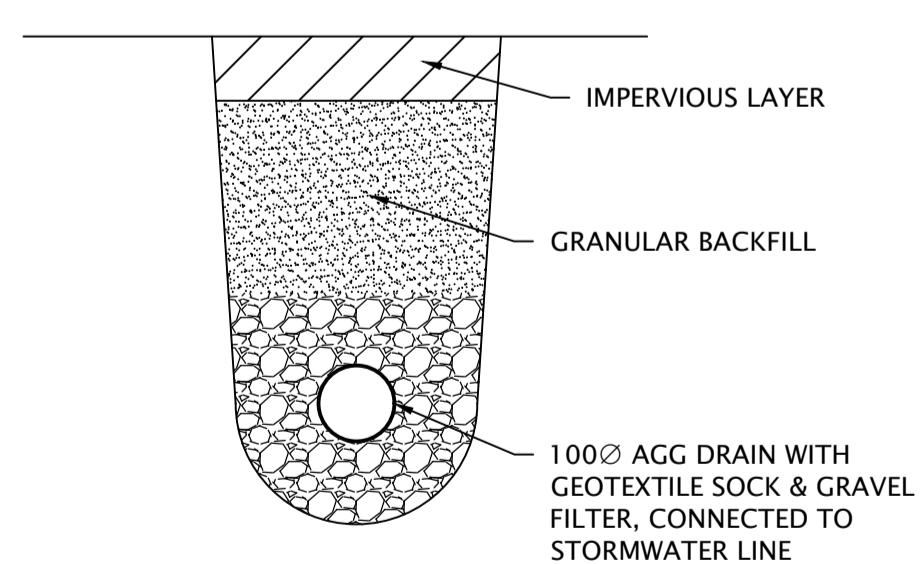
SECTION THROUGH STORMWATER DRAIN UNDER GROUND (NOT TO SCALE)



ORIFICE PLATE DETAIL (NOT TO SCALE)

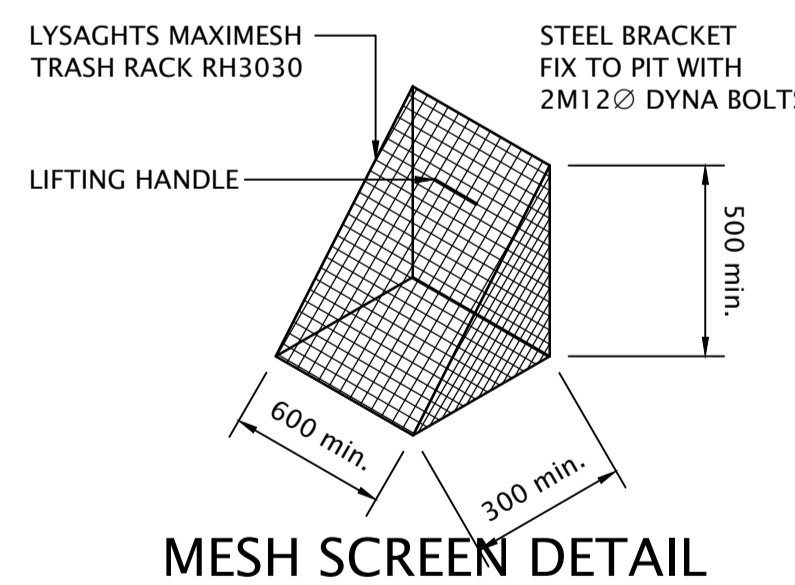


150 HIGH UPTURNED KERB DETAIL (NOT TO SCALE)



AGG DRAIN DETAIL (NOT TO SCALE)

REFER TO STRUCTURAL DRAWINGS FOR DETAILS BEHIND RETAINING WALLS.



MESH SCREEN DETAIL (NOT TO SCALE)

NOT TO SCALE GALVANISED LYSAGHT RH3030MAXI MESH SCREEN IN GALVANISED STEEL FRAME WITH LIFTING HANDLES

CONCEPT DESIGN
NOT TO BE USED FOR CONSTRUCTION PURPOSES

OSD CALCULATOR
CORNER OF MASHALL STREET AND LEWIS STREET, COBAR

Orifice Discharge Calculations	
Engineer:	MS
Job Address:	CNR MARSHALL & LEWIS STREET COBAR NSW
Job No.:	17096
Equation:	$Q = CA(2gh)^{0.5}$
Discharge, Q_s	0.031 m ³ /s
Coefficient of Discharge, C	0.61
Acceleration to gravity, g	9.81 m ² /s
Depth of Water, h ₅	0.332 m
Orifice area, A	0.01991 m ²
ORIFICE SIZE	200mm x 99.28mm

Existing conditions			
ARI	Q_{pre} (L/s)		
5	62		
10	80		
100	150		
Post development conditions			
ARI	Q_{post} (L/s)	Volume (m ³)	
5	62	16.05	
10	74	18.20	
100	120	29.70	
Existing conditions		Post-development conditions	
Tributary area (m ²)	3208	Tributary area (m ²)	2612
Impervious (m ²)	1746	Impervious (m ²)	2612
Pervious (m ²)	1462	Pervious (m ²)	0

ISSUE	AMENDMENT	DATE
1	ISSUED FOR DISCUSSION	31/10/17
2	OSD CONTROL PIT IL REVISED	01/03/18
3	OSD CONTROL PIT IL REVISED	30/01/20
4	OSD CONTROL PIT IL REVISED	12.07.22

SCALE 1:100 @ A1

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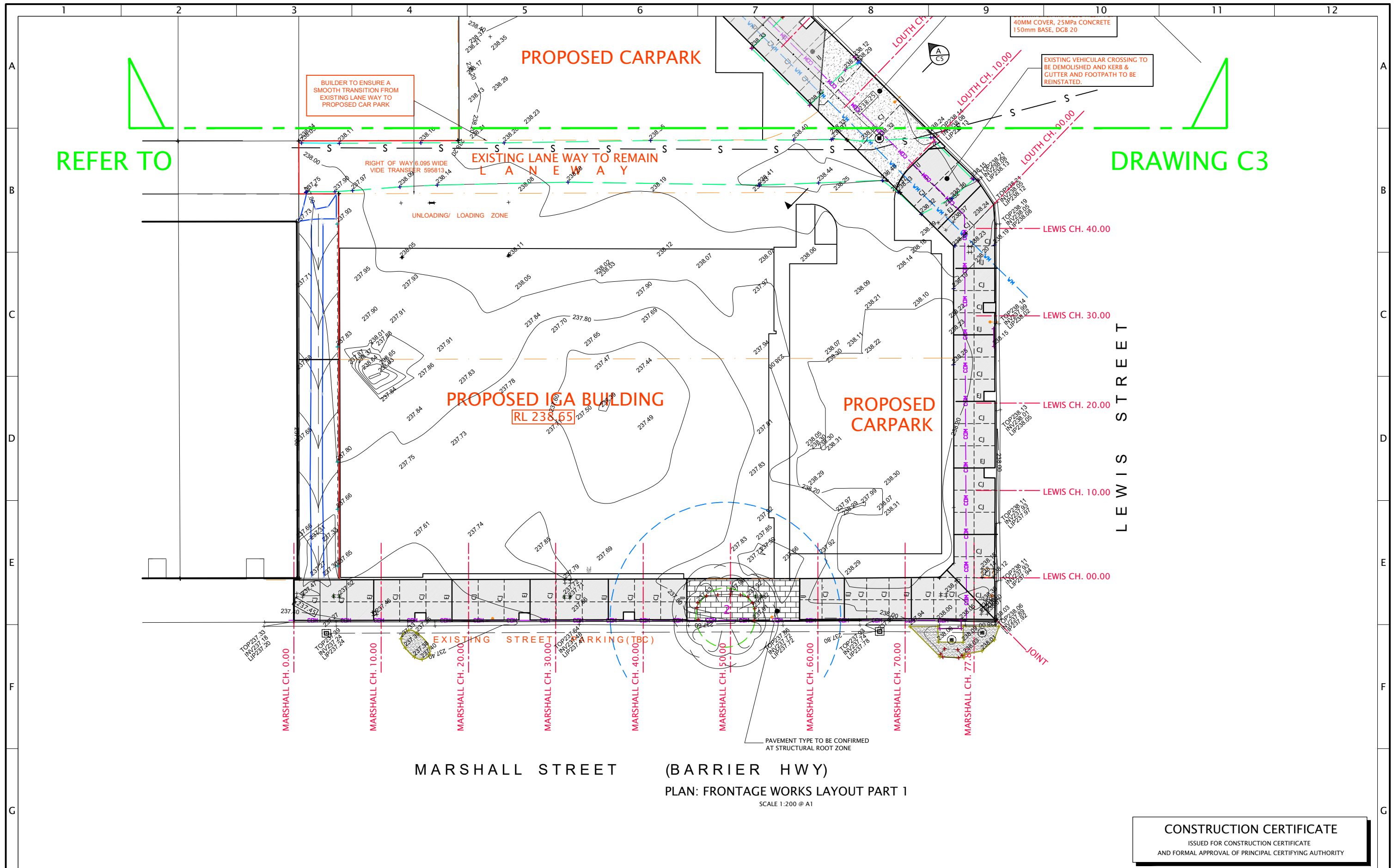
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Title: STORMWATER DETAILS
Project: PROPOSED IGA SUPERMARKET
At: CNR MARSHALL & LEWIS STREET COBAR, NSW
Client: THE KHAN GROUP

SCALES AS SHOWN
DATE PLOTTED 12.07.22
DRAWN M.R.
DESIGNED G.U.
DATE CHK'D
PROJECT No 17096
DWG SW3
REVISION 4



REFER TO

DRAWING C3

PLAN: FRONTAGE WORKS LAYOUT PART 1
SCALE 1:200 @ A1

CONSTRUCTION CERTIFICATE
ISSUED FOR CONSTRUCTION CERTIFICATE
AND FORMAL APPROVAL OF PRINCIPAL CERTIFYING AUTHORITY

ISSUE	AMENDMENT	DATE
A	APPLICATION FOR FRONTAGE WORKS	01/07/21
B	AMENDMENTS TO FOOTPATH AND VEHICULAR CROSSINGS	01/07/22

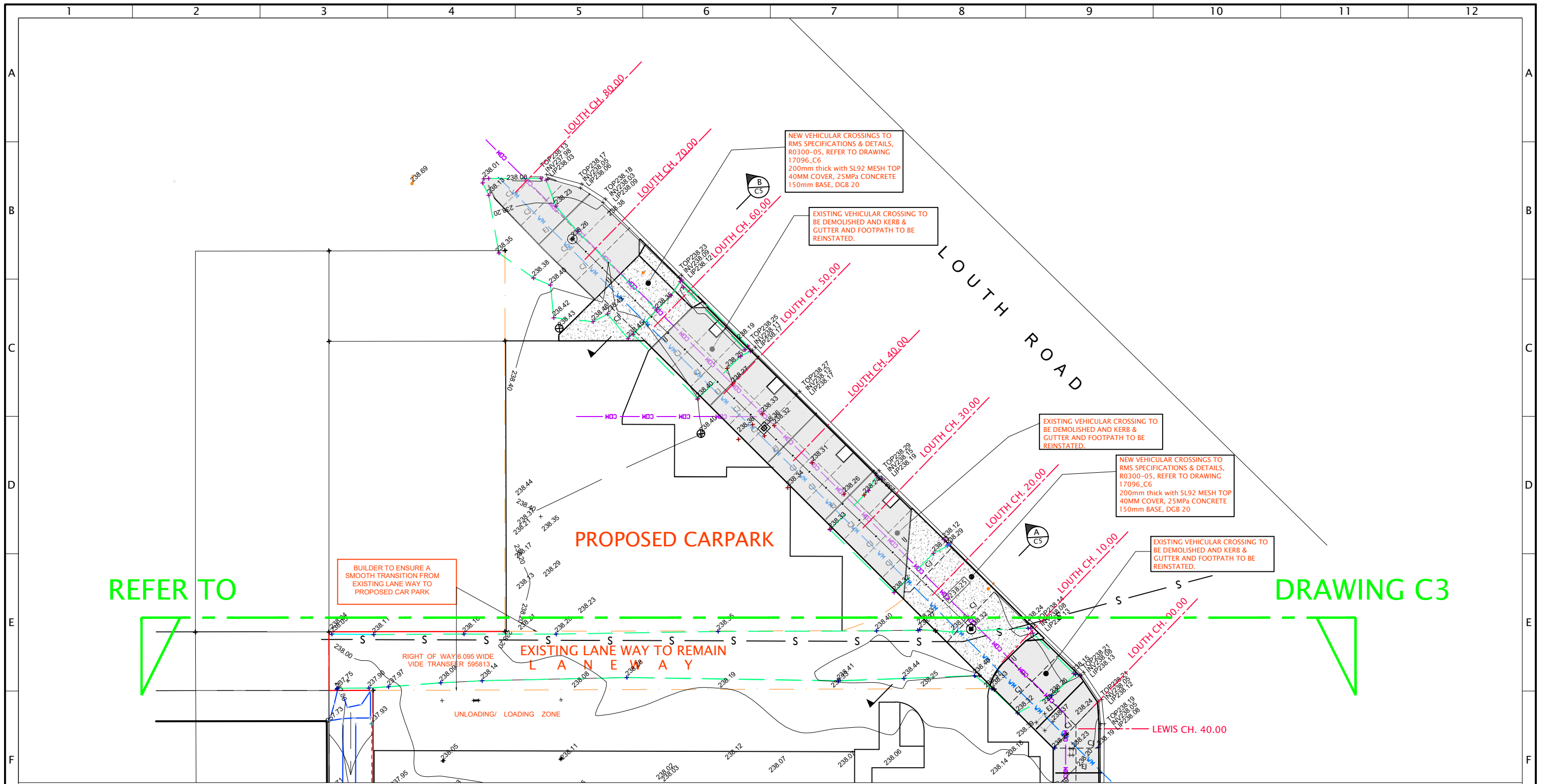
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Title	PLAN: FRONTAGE WORKS LAYOUT PART 1
Project	PROPOSED IGA SUPERMARKET
At	CNR MARSHALL & LEWIS STREET COBAR, NSW
Client	THE KHAN GROUP

SCALES	AS SHOWN	DATE PLOTTED	01/07/22
DRAWN	A.H.	DATUM A.H.D.	
DESIGNED	G.U.		
CHECKED	G.U.	DATE CHK'D	01/07/22
PROJECT No	17096	DWG	C2
REVISION			B



PLAN: FRONTAGE WORKS LAYOUT PART 2
SCALE 1:200 @ A1

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ISSUE	AMENDMENT	DATE
A B	APPLICATION FOR FRONTAGE WORKS AMENDMENTS TO FOOTPATH AND VEHICULAR CROSSINGS	01/07/21 01/07/22

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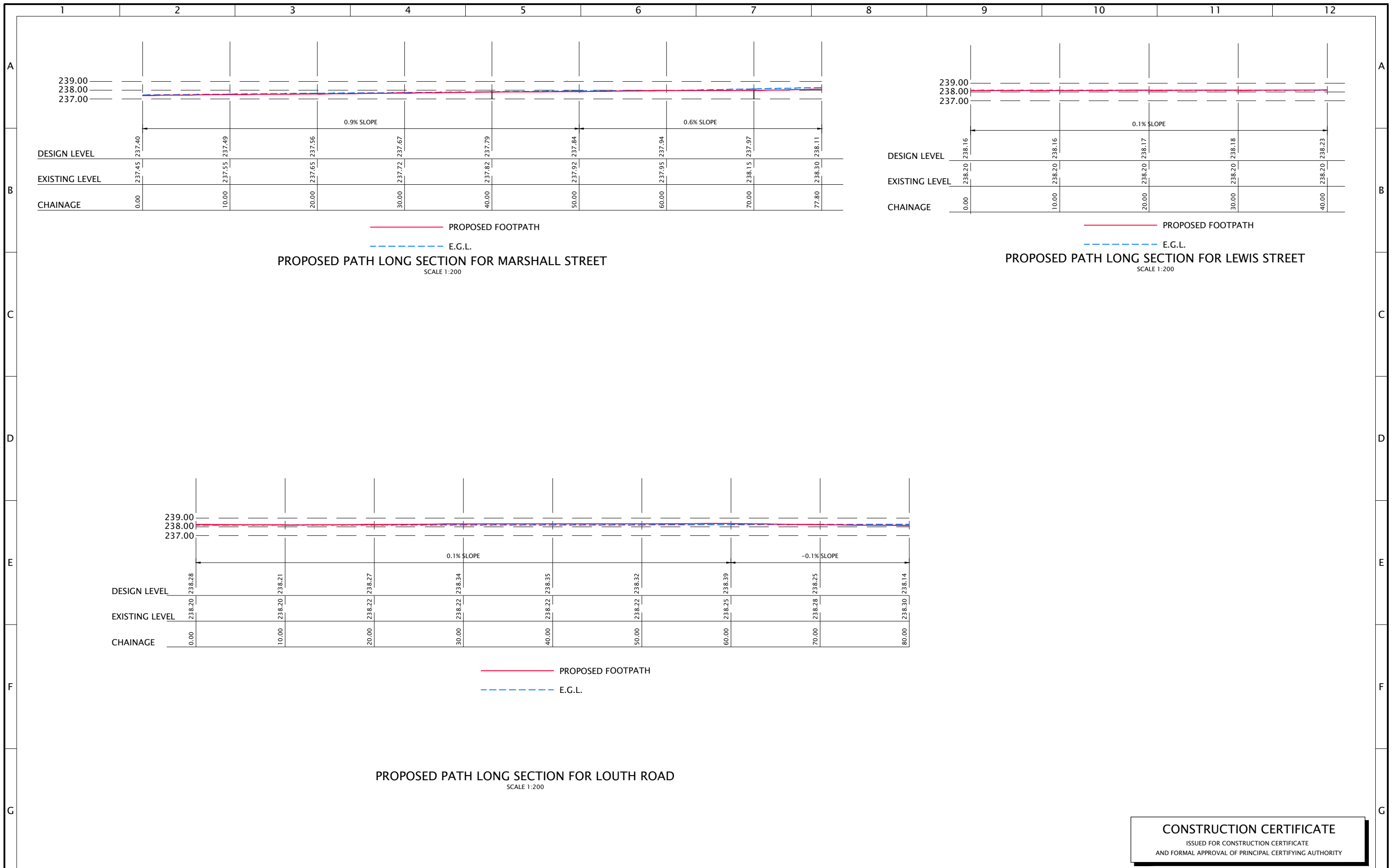
A1

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 The Association of Consulting Engineers Australia	Title	PLAN: FRONTAGE WORKS LAYOUT PART 2
	Project	PROPOSED IGA SUPERMARKET
	At	CNR MARSHALL & LEWIS STREET COBAR, NSW
	Client	THE KHAN GROUP

SCALES	AS SHOWN	DATE PLOTTED	01/07/22
DRAWN	A.H.	DESIGNED	G.U.
CHECKED	G.U.	DATE CHK'D	01/07/22
PROJECT No	17096	DWG	C3
REVISION			B



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AND FORMAL APPROVAL OF PRINCIPAL CERTIFYING AUTHORITY

ISSUE	AMENDMENT	DATE
A	APPLICATION FOR FRONTAGE WORKS	01/07/21
B	AMENDMENTS TO COMPLY WITH RMS-RO300	11/07/22

PLANS 0 1000 2000 3000 4000 5000

DO NOT SCALE IF IN DOUBT ASK **A1**

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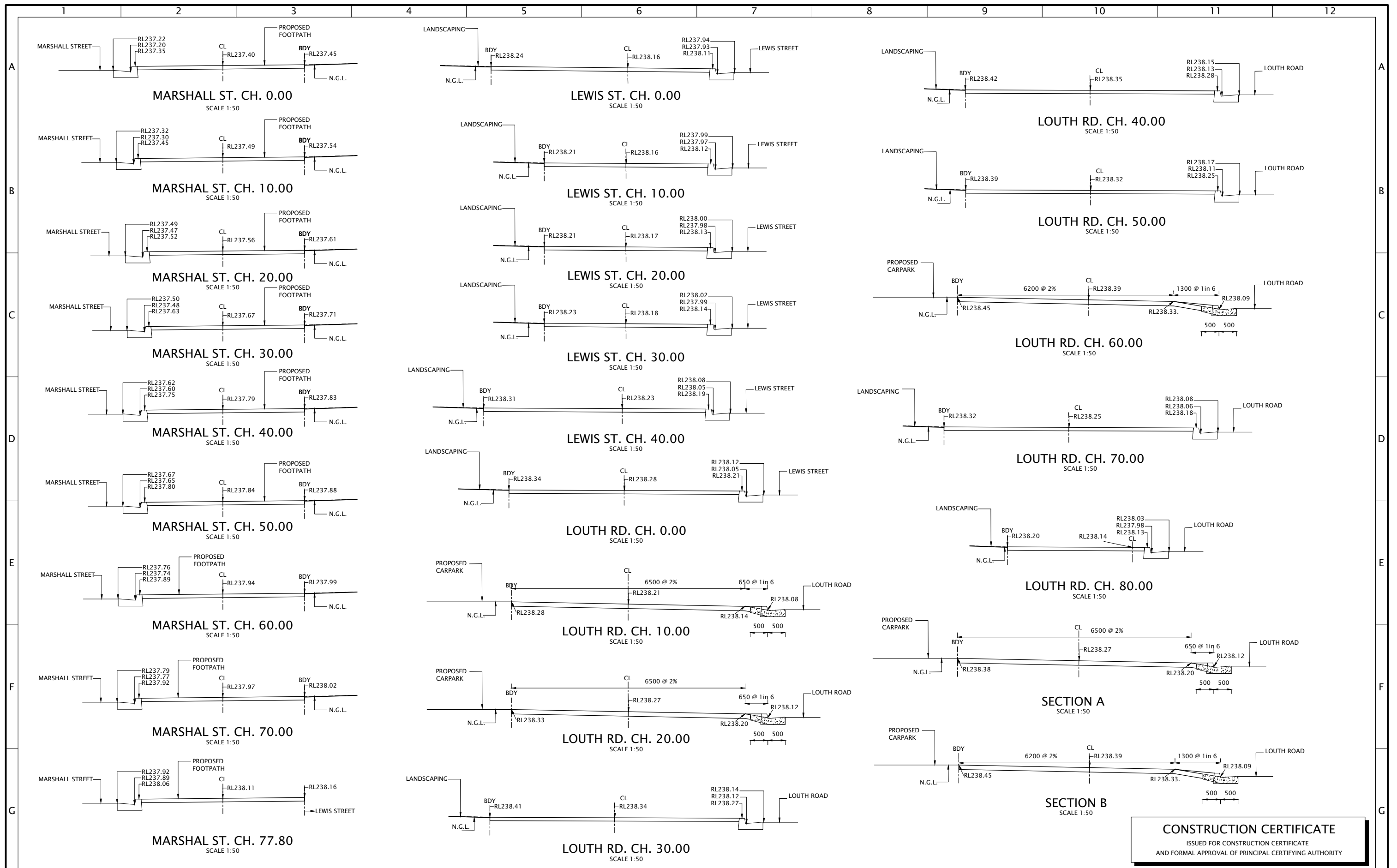
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Title		SCALES	AS SHOWN	DATE PLOTTED
FRONTAGE WORKS LONG SECTION				01/07/22
Project		PROPOSED IGA SUPERMARKET		DATUM A.H.D.
At		CNR MARSHALL & LEWIS STREET COBAR, NSW	CHECKED G.U.	DATE CHK'D 01/07/22
Client		THE KHAN GROUP	PROJECT No 17096	DWG C4
				REVISION B



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ISSUE	AMENDMENT	DATE
A B	APPLICATION FOR FRONTAGE WORKS AMENDMENTS TO COMPLY WITH RMS-R0300	01/07/21 12/07/22

PLANS 0 500 1000 1500 2000 2500

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A1

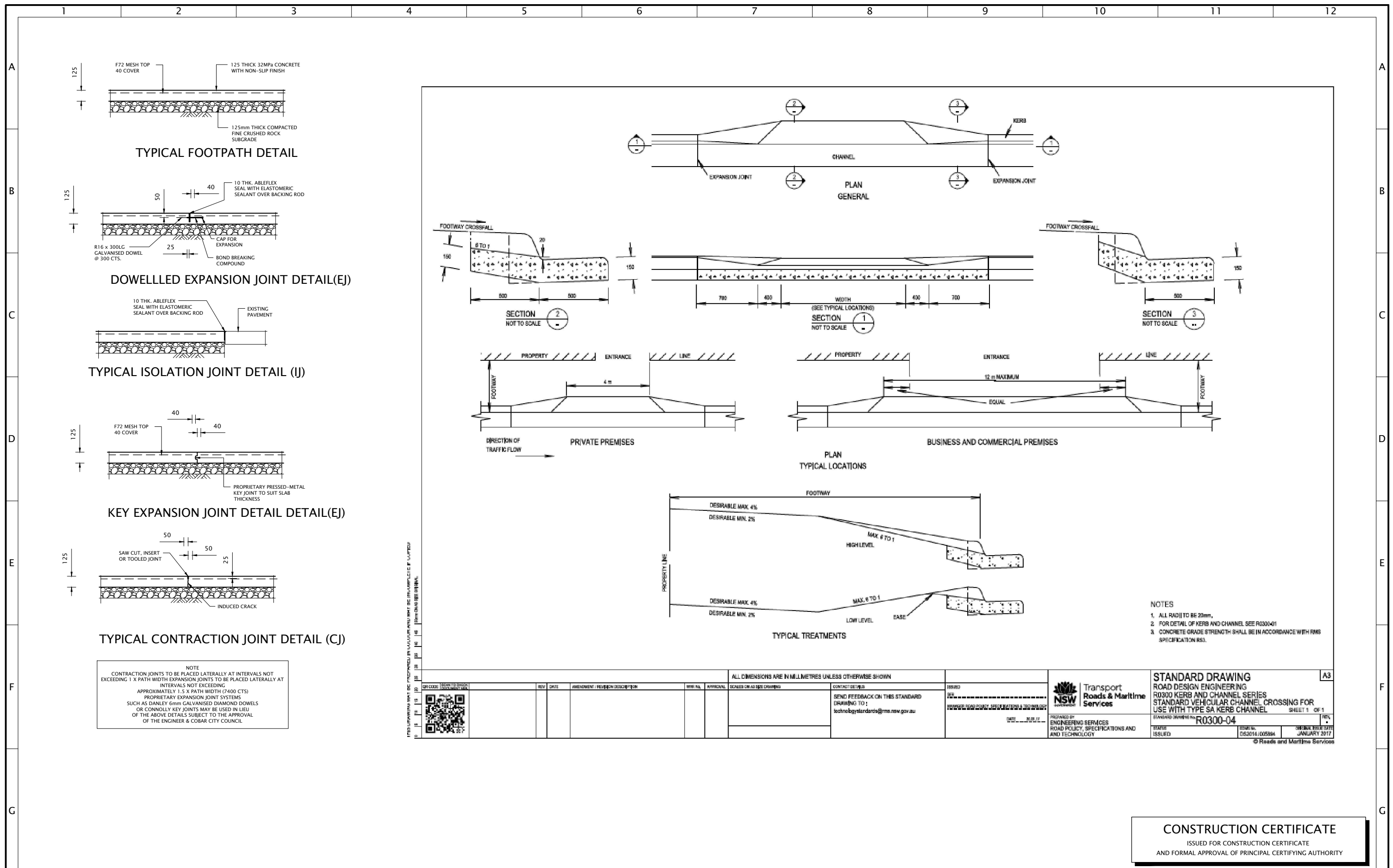
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ACEA The Association of Consulting Engineers Australia	Title FRONTAGE WORKS SECTIONS AND DETAILS	Project PROPOSED IGA SUPERMARKET	At CNR MARSHALL & LEWIS STREET COBAR, NSW	Client THE KHAN GROUP
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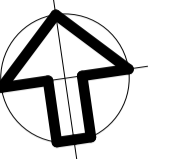
SCALES AS SHOWN	DATE PLOTTED 01/07/22
DRAWN A.H.	DATUM A.H.D.
DESIGNED G.U.	CHECKED G.U.
DATE CHK'D 01/07/22	PROJECT No 17096
DWG C5	REVISION B



ISSUE	AMENDMENT	DATE	PLANS	0 500 1000 1500 2000 2500	 11 VICTORIA STREET WOLLONGONG NSW 2500 TELEPHONE: 02 42 266 646 Email: info@atbconsulting.com.au	 The Association of Consulting Engineers Australia	Title FRONTAGE WORKS TYPICAL DETAILS Project PROPOSED IGA SUPERMARKET At CNR MARSHALL & LEWIS STREET COBAR, NSW Client THE KHAN GROUP	SCALES AS SHOWN DRAWN A.H. DESIGNED G.U. CHECKED G.U.	DATE PLOTTED 01/07/22 DATUM A.H.D. DATE CHK'D 01/07/22 PROJECT No 17096 DWG C6 REVISION B
A B	APPLICATION FOR FRONTAGE WORKS STANDARD DRAWINGS OF RMS-R0300-04 ADDED FOR VEHICULAR CROSSINGS FOOTPATH DETAILS AMENDED TO COMPLY WITH AUSTRROADS SPECIFICATIONS	01/07/21 01/07/22	DO NOT SCALE IF IN DOUBT ASK THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS COPYRIGHT: Concepts and information contained in these engineering drawings and related documents are the copyright of ATB Consulting Engineers Pty. Ltd. Unauthorised copying of part or whole of the document is a breach of copyright.	A1			Transport Roads & Maritime Services NSW PREPARED BY ENGINEERING SERVICES ROAD POLICY, SPECIFICATIONS AND TECHNOLOGY	CONSTRUCTION CERTIFICATE ISSUED FOR CONSTRUCTION CERTIFICATE AND FORMAL APPROVAL OF PRINCIPAL CERTIFYING AUTHORITY	

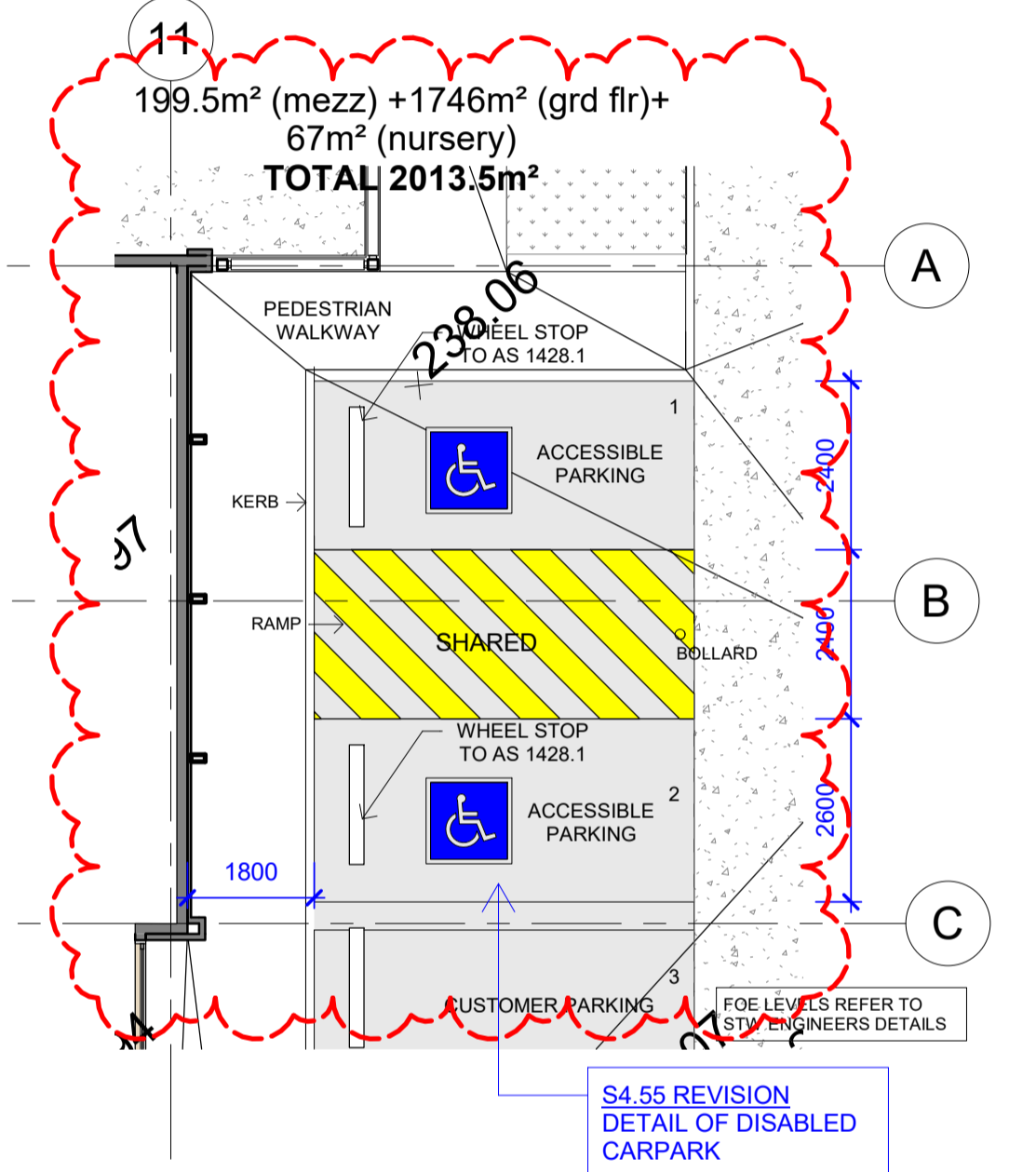
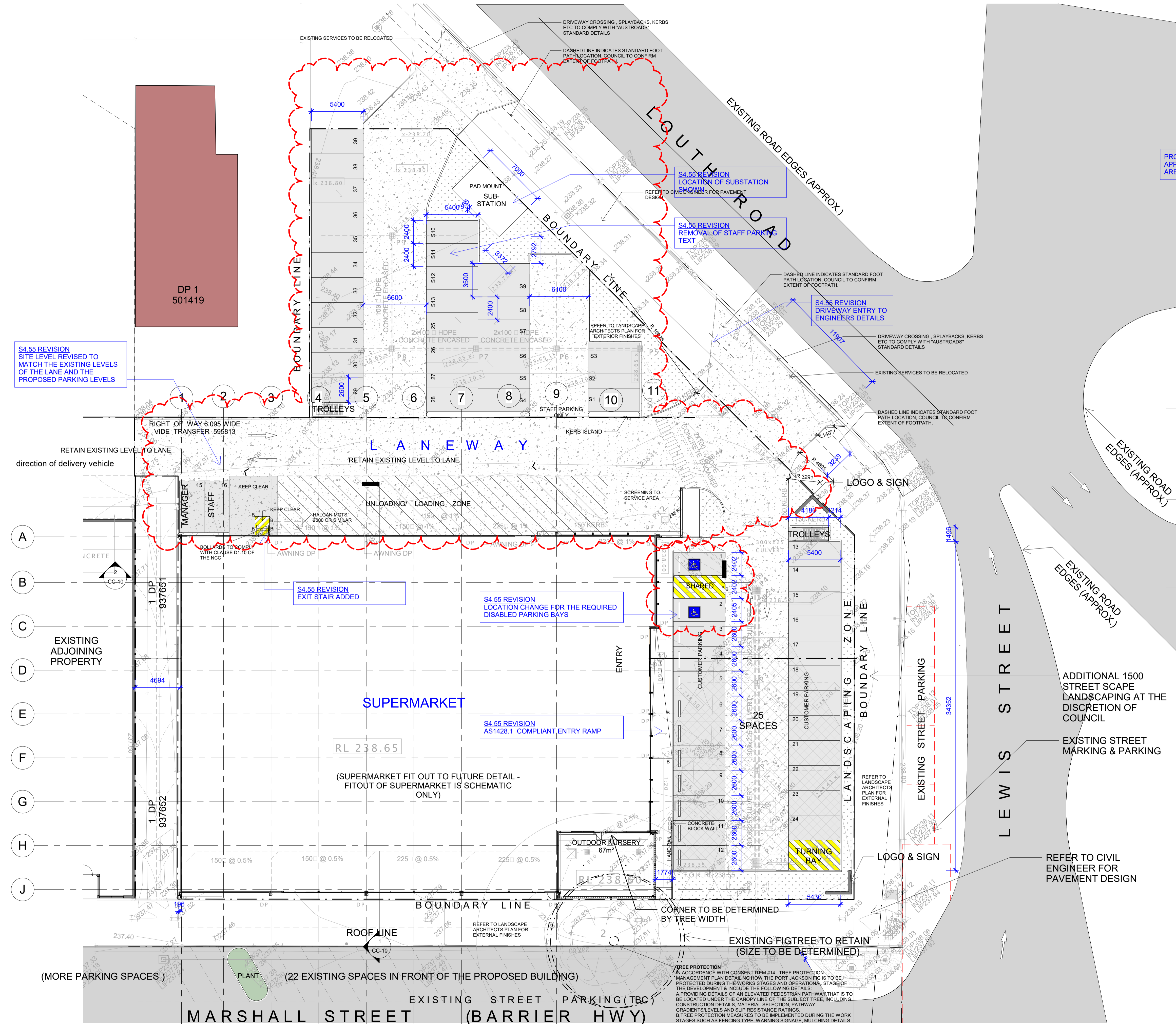
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CONSTRUCTION CERTIFICATE



AMENDMENTS			
No.	Revision Description	Date	Issued by
A	DA SUBMISSION	2017.11.09	SH
B	REVISED FFL LEVEL	2020.02.03	HS
C	PARKING BAY	03.03.21	HS
D	ISSUE FOR CC	05.07.21	HS
E	S68 APPLICATION	10.12.21	HS
F	S138 APPLICATION	13.12.21	HS
G	ISSUE FOR CONSTRUCTION	13.12.21	HS
H	ISSUED FOR SECTION 4.55	01.07.22	HS
I	ISSUED FOR SECTION 4.55	10.08.22	HS

PROPOSED CHANGES TO THE APPROVED DEVELOPMENT APPROVAL ARE NOTED IN [BLUE] AND CLOUDED



Project:
PROPOSED IGA SUPERMARKET
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobarr
Client:
THE KHAN GROUP



Title:
SITE PLAN

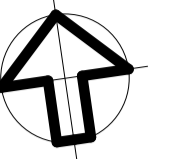
Date: xx.xx.xx	Design: Designer	Job No:	Dwg:	Rev:
As indicated	Drawn: SH/DC	017-001	CC-02	I
(note: scale reduced half @A3)				



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CONSTRUCTION CERTIFICATE



AMENDMENTS	No.	Revision Description	Date	Issued by
A	DA SUBMISSION		2017.11.09	SH
B	REVISED FFL LEVEL		2020.02.03	HS
C	ISSUE FOR CONSTRUCTION		24.03.2020	HS
D	NEW EXIT		03.03.21	HS
E	EXIT ADDED		10.06.21	HS
F	REVISED STAIR LOCATION		23.06.21	HS
G	DOOR SCHEDULE		02.07.21	HS
H	LEVEL 1 AREA REDUCED		30.08.21	HS
I	BUILDER RFI		28.10.21	HS
J	S68 APPLICATION		10.12.21	HS
K	ISSUE FOR CONSTRUCTION		13.12.21	HS
L	ISSUED FOR SECTION 4.55		01.07.22	HS
M	ISSUED FOR SECTION 4.55		10.08.22	HS

S4.55 REVISION
LOCATION CHANGE FOR THE REQUIRED DISABLED PARKING BAYS

S4.55 REVISION NOTES

NOTE 1
REFUSE ROOM
SHOULD COMPLY WITH EPA N.S.W 'BETTER PRACTICE GUIDELINES FOR WASTE MANAGEMENT & RECYCLING IN COMMERCIAL & INDUSTRIAL FACILITIES' GUIDE LINES, AND CONSTRUCTED IN ACCORDANCE WITH THE NCC.

VENTILATION SYSTEM TO COMPLY WITH AS 1888 - THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS

TO HAVE CONCRETE FLOOR WITH SMOOTH CEMENT RENDER WALLS, PAINT FINISH, FROM CEILING TO THE FLOOR, GRADE FLOOR TO AN APPROVED IN FLOOR SUMP AND BASKET TRAP FLOOR WASTE. PROVIDE HOSE COCK, AIR VENT TO EXTERNAL AIR, NATURAL OR MECHANICAL FLOW. PROVIDE STORAGE AREA FOR DRY RECYCLING FACILITIES. REFER TO COUNCIL CONSENT ITEM 52 FOR ROOM REQUIREMENTS

NOTE 2
PROTECTION OF OPENINGS

BOTH THE GROUND FLOOR REFUSE & LEVEL 1 PLANT ROOM ROLLER DOORS ARE WITHIN 3M OF THE SIDE BOUNDARY WITH A WALL ANGLE OF 0.669.

ANY DOOR THAT IS WITHIN A FIRE WALL IS REQUIRED TO COMPLY WITH NCC PART C3.2(a)(i), C3.4(a)(i)(b) & C3.5(a)(i)(b)(c)(d)

REFER TO NCC: SPECIFICATION C1.1 FIRE WALLS
SPECIFICATION E1.5 SPRINKLERS

WALL TYPES	DESCRIPTION
35	METAL STUD FRAMING WITH SHEET METAL CLADDING
90	METAL STUD FRAMING WITH PLASTERBOARD LINING. REFER TO JV3 REPORT FOR INSULATION REQUIREMENTS
90	METAL STUD FRAMING WITH PLASTERBOARD LINING. REFER TO JV3 REPORT FOR INSULATION REQUIREMENTS
150	COLD & FREEZER ROOM INSULATION PANEL, BY OTHERS
75	COLD & FREEZER ROOM INSULATION PANEL, BY OTHERS
150MM 200MM	PRE-CAST CONCRETE TILT-UP PANEL. REFER TO PLAN FOR SIZE LOCATION
13, 152	METAL STUD FRAMING WITH EXTERNAL SHEET METAL CLADDING & INTERNAL PLASTERBOARD LINING. REFER TO JV3 REPORT FOR INSULATION REQUIREMENTS

Project:

PROPOSED IGA SUPERMARKET

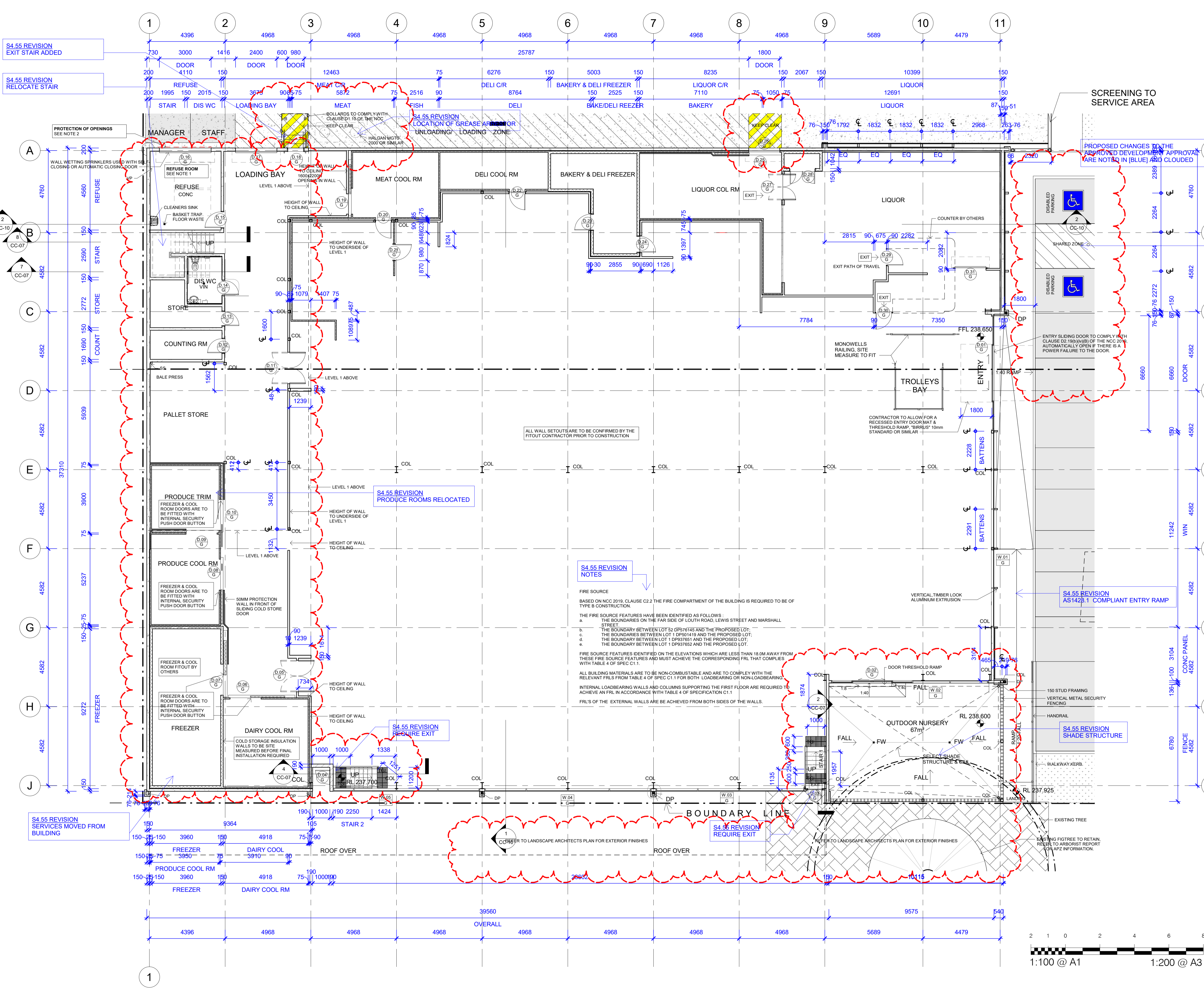
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobar

Client:
THE KHAN GROUP



Title:
GROUND FLOOR PLAN

Date: xx.xx.xx	Design: Designer	Job No:	Dwg:	Rev:
Scale: As indicated	Drawn: SH/DC	017-001	CC-03	M
19/09/2022 11:32:46 AM				



S4.55 REVISION
EXIT STAIR ADDED

S4.55 REVISION
RELOCATE STAIR

S4.55 REVISION
LOCATION OF GREASE TRAP OR UNLOADING/LOADING ZONE

S4.55 REVISION
PRODUCE ROOMS RELOCATED

S4.55 REVISION
REQUIRE EXIT

S4.55 REVISION
SHADE STRUCTURE

S4.55 REVISION
SERVICES MOVED FROM BUILDING

S4.55 REVISION NOTES

FIRE SOURCE
BASED ON NCC 2019, CLAUSE C2.2 THE FIRE COMPARTMENT OF THE BUILDING IS REQUIRED TO BE OF TYPE B CONSTRUCTION.

THE FIRE SOURCE FEATURES HAVE BEEN IDENTIFIED AS FOLLOWS:

- THE BOUNDARIES ON THE FAR SIDE OF LOUTH ROAD, LEWIS STREET AND MARSHALL STREET
- THE BOUNDARY BETWEEN LOT 1 DP501419 AND THE PROPOSED LOT;
- THE BOUNDARY BETWEEN LOT 1 DP937651 AND THE PROPOSED LOT;
- THE BOUNDARY BETWEEN LOT 1 DP937652 AND THE PROPOSED LOT.

FIRE SOURCE FEATURES IDENTIFIED ON THE ELEVATIONS WHICH ARE LESS THAN 18.0M AWAY FROM THESE FIRE SOURCE FEATURES AND MUST ACHIEVE THE CORRESPONDING FRL THAT COMPLES WITH TABLE 4 OF SPEC C1.1.

ALL BUILDING MATERIALS ARE TO BE NON-COMBUSTIBLE AND ARE TO COMPLY WITH THE RELEVANT FRLS FROM TABLE 4 OF SPEC C1.1 FOR BOTH LOADBEARING OR NON-LOADBEARING.

INTERNAL LOADBEARING WALLS AND COLUMNS SUPPORTING THE FIRST FLOOR ARE REQUIRED TO ACHIEVE AN FRL IN ACCORDANCE WITH TABLE 4 OF SPECIFICATION C1.1

FRL'S OF THE EXTERNAL WALLS ARE TO BE ACHIEVED FROM BOTH SIDES OF THE WALLS.

PROPOSED CHANGES TO THE APPROVED DEVELOPMENT APPROVAL ARE NOTED IN [BLUE] AND CLOUDED

(note: scale reduced half @A3)

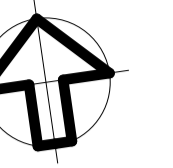
FIRE SOURCE
 BASED ON NCC 2019, CLAUSE C2.2 THE FIRE COMPARTMENT OF THE BUILDING IS REQUIRED TO BE OF TYPE B CONSTRUCTION.
 THE FIRE SOURCE FEATURES HAVE BEEN IDENTIFIED AS FOLLOWS:
 a. THE BOUNDARIES ON THE FAR SIDE OF LOUTH ROAD, LEWIS STREET AND MARSHALL STREET.
 b. THE BOUNDARY BETWEEN LOT 2 DP576145 AND THE PROPOSED LOT.
 c. THE BOUNDARIES BETWEEN LOT 1 DP961419 AND THE PROPOSED LOT.
 d. THE BOUNDARY BETWEEN LOT 1 DP937651 AND THE PROPOSED LOT.
 e. THE BOUNDARY BETWEEN LOT 1 DP937652 AND THE PROPOSED LOT.
 FIRE SOURCE FEATURES IDENTIFIED ON THE ELEVATIONS WHICH ARE LESS THAN 18.0M AWAY FROM THESE FIRE SOURCE FEATURES AND MUST ACHIEVE THE CORRESPONDING FRL THAT COMPLES WITH TABLE 4 OF SPEC C1.1.
 ALL BUILDING MATERIALS ARE TO BE NON-COMBUSTIBLE AND ARE TO COMPLY WITH THE RELEVANT FRLS FROM TABLE 4 OF SPEC C1.1 FOR BOTH LOADBEARING OR NON-LOADBEARING.
 INTERNAL LOADBEARING WALLS AND COLUMNS SUPPORTING THE FIRST FLOOR ARE REQUIRED TO ACHIEVE AN FRL IN ACCORDANCE WITH TABLE 4 OF SPECIFICATION C1.1
 FRL'S OF THE EXTERNAL WALLS ARE TO BE ACHIEVED FROM BOTH SIDES OF THE WALLS.

NOTE 2
PROTECTION OF OPENINGS
 BOTH THE GROUND FLOOR REFUSE & LEVEL 1 PLANT ROOM ROLLER DOORS ARE WITHIN 3M OF THE SIDE BOUNDARY WITH A WALL ANGLE OF 0 DEG.
 ANY DOOR THAT IS WITHIN A FIRE WALL IS REQUIRED TO COMPLY WITH NCC PART C3.2(a)(i), C3.4(a)(ii)(b) & C3.5(a)(iii)(c)(d)
 REFER TO NCC: SPECIFICATION C1.1 FIRE WALLS SPECIFICATION E1.5 SPRINKLERS

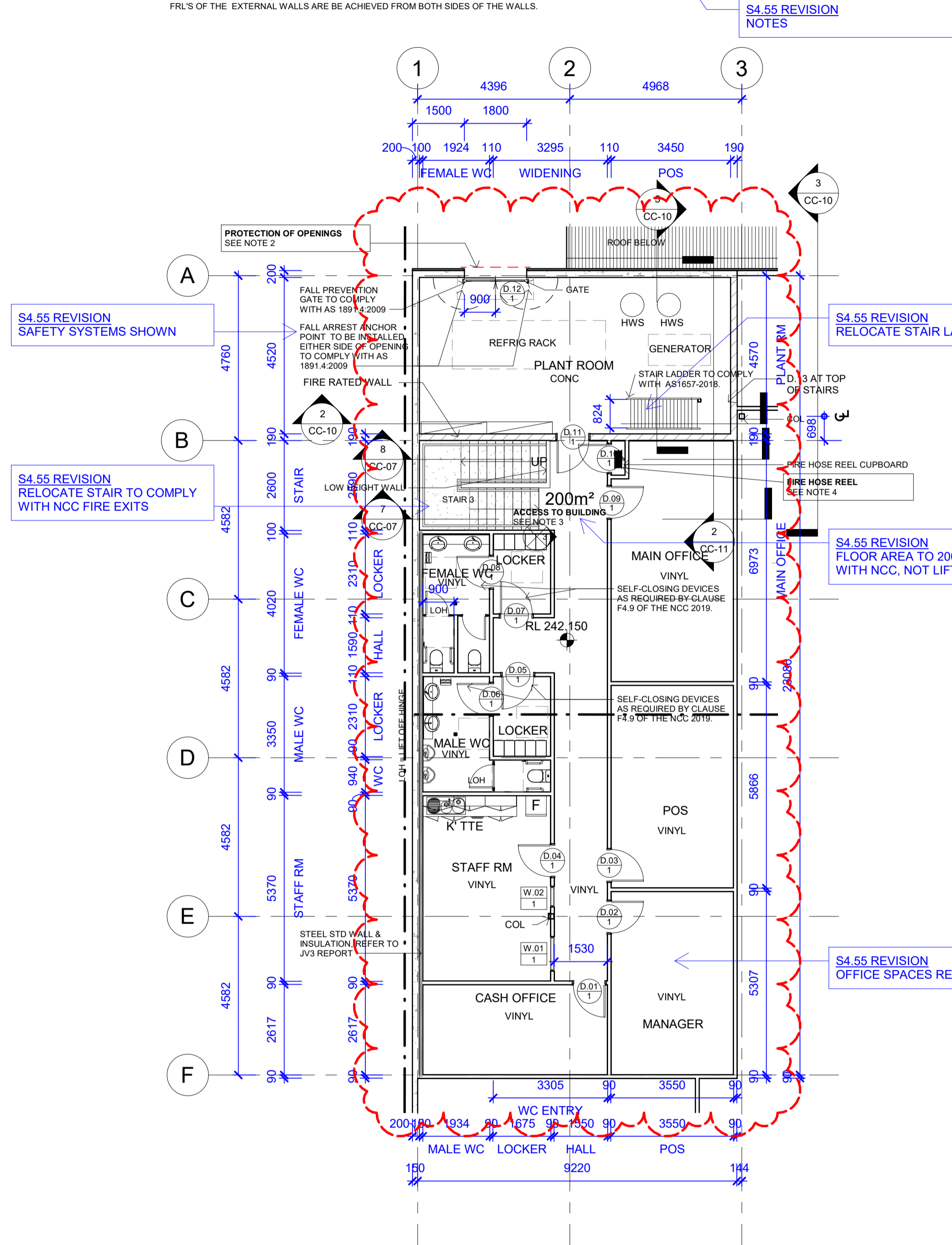
NOTE 3
ACCESS TO BUILDING
 EXEMPTION OF A PASSENGER LIFT TO SERVICE LEVEL 1 IN ACCORDANCE WITH REFER NCC Q3.3(f) AS THE FLOOR AREA IS NO MORE THAN 200m2.
NOTE 4
FIRE HOSE REEL
 FIRE HOSE REEL CUPBOARD, FIRE REEL TO BE INSTALLED IN ACCORDANCE WITH AS 2441-2005 & TO COMPLY WITH NCC E1.4(c)(i)(d)(e)(f)

Do not scale drawing, figured dimensions only to be used. Dimensions to be verified on site before the fabrication of any building components. These designs & plans are copyright & are not to be used or reproduced wholly or in part without the written permission of P.R.D Architects.

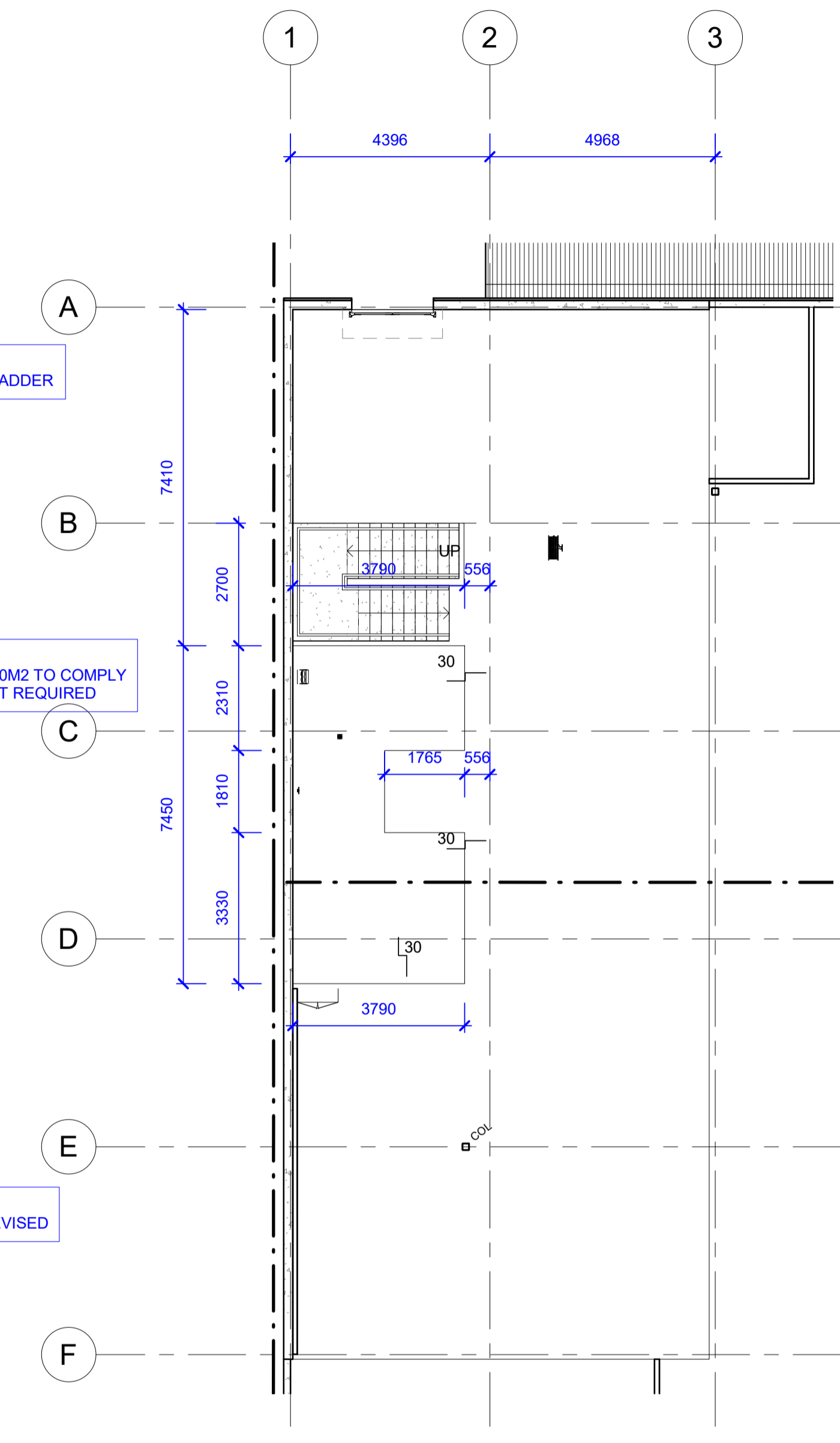
CONSTRUCTION CERTIFICATE



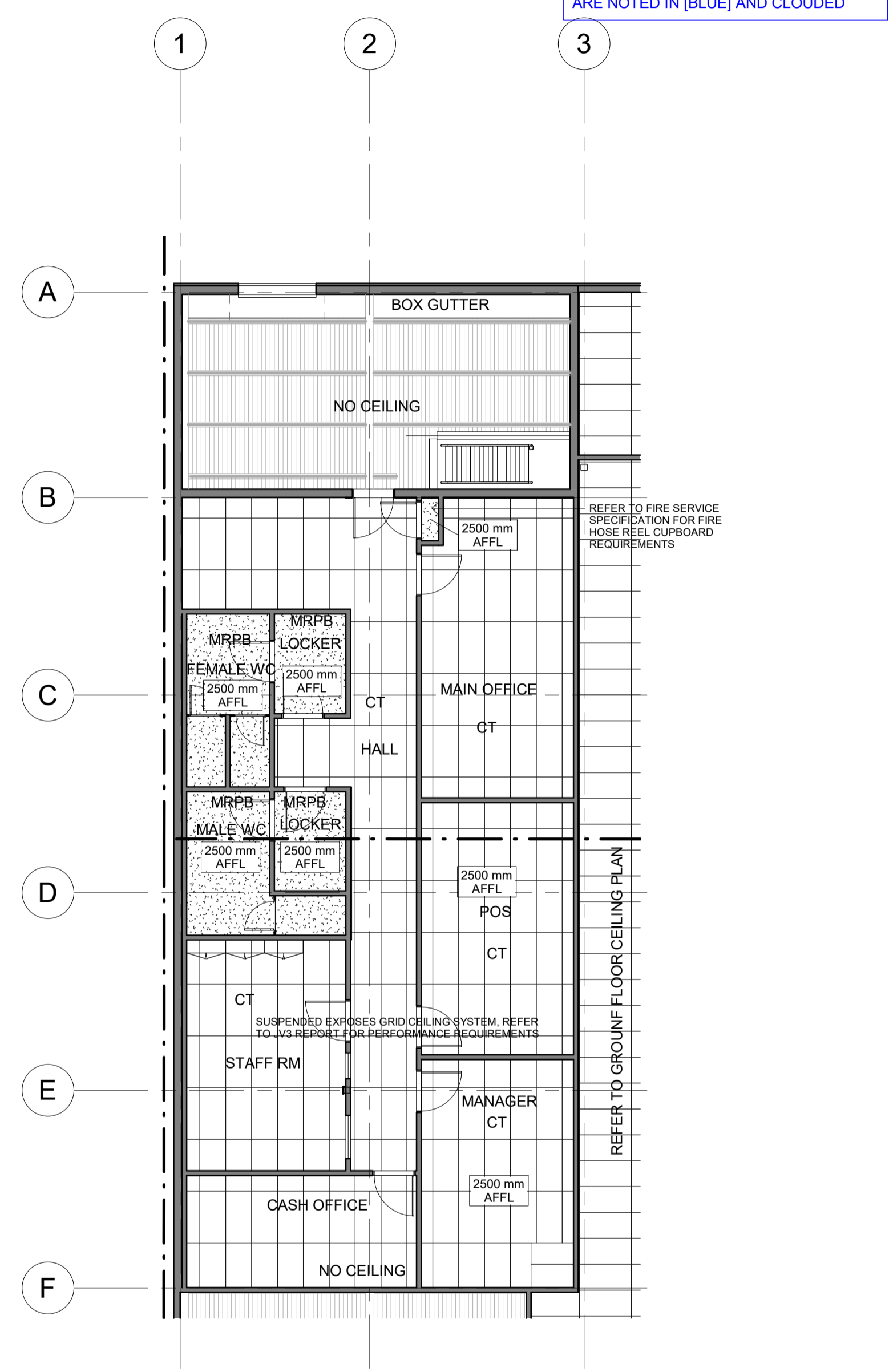
No.	Revision Description	Date	Issued by
A	DA SUBMISSION	2017.11.09	SH
B	REVISED STAIR LOCATION	23.06.21	HS
C	DOOR SCHEDULE	02.07.21	HS
D	ISSUE FOR CC	05.07.21	HS
E	LEVEL 1 AREA REDUCED	30.08.21	HS
F	BUILDER RFI	28.10.21	HS
G	S68 APPLICATION	10.12.21	HS
H	ISSUE FOR CONSTRUCTION	13.12.21	HS
I	ISSUED FOR SECTION 4.55	01.07.22	HS
J	ISSUED FOR SECTION 4.55	10.08.22	HS



1 FIRST FLOOR PLAN
1 : 100



2 FIRST FLOOR CONCRETE SETOUT PLAN
1 : 100



3 LEVEL 1 - RCP
1 : 100



Project:
PROPOSED IGA SUPERMARKET
 Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobarr
 Client:
THE KHAN GROUP



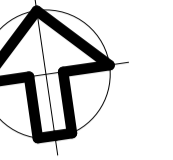
Title:
FIRST FLOOR PLAN

Date: xx.xx.xx	Design: Designer	Job No:	Dwg:	Rev:
Scale: As indicated	Drawn: SH/DC	017-001	CC-05	J
Checked: PR		(note: scale reduced half @A3)		

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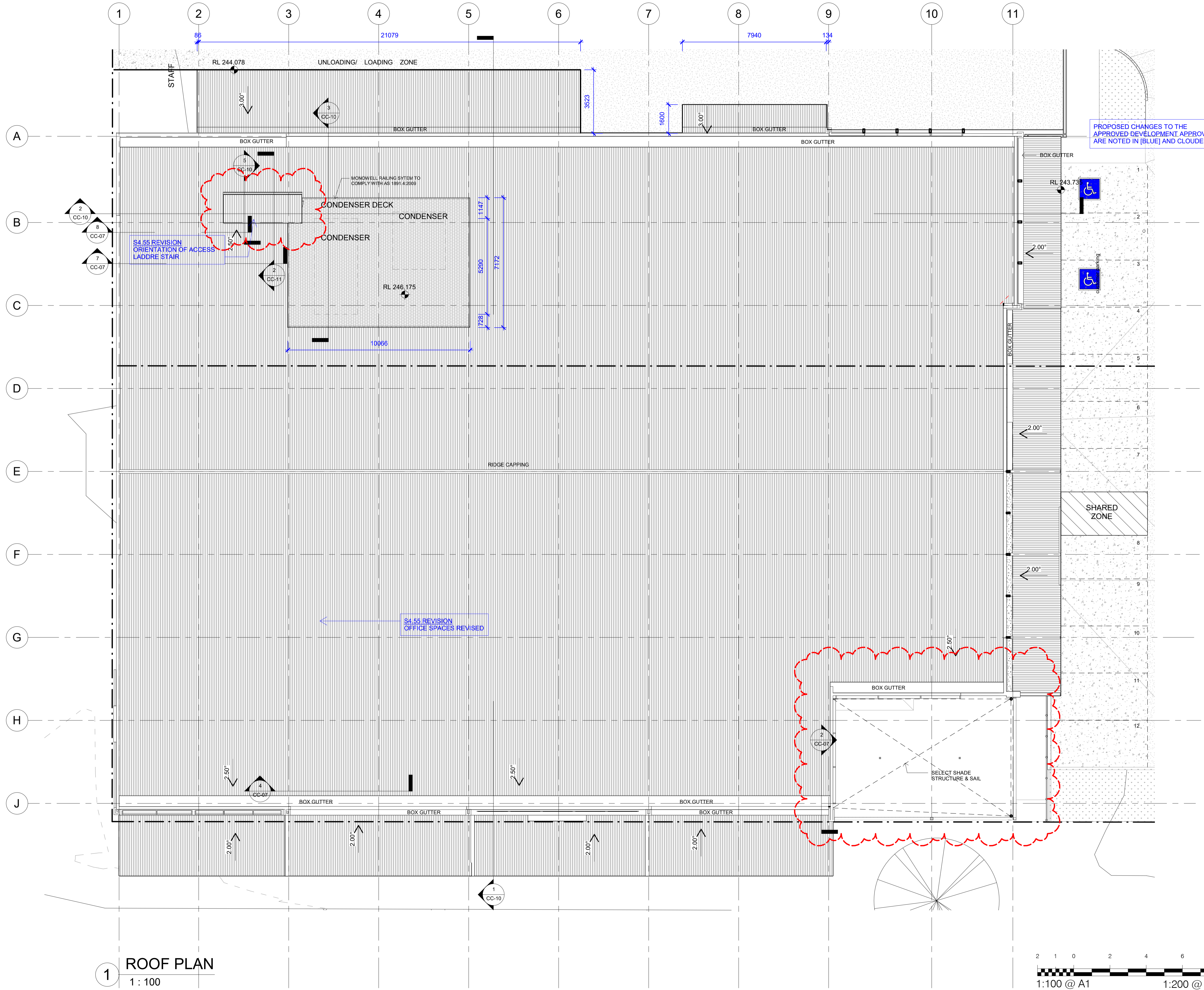
Do not scale drawing, figured dimensions only to be used. Dimensions to be verified on site before the fabrication of any building components. These designs & plans are copyright & are not to be used or reproduced wholly or in part without the written permission of P.R.D Architects.

CONSTRUCTION CERTIFICATE

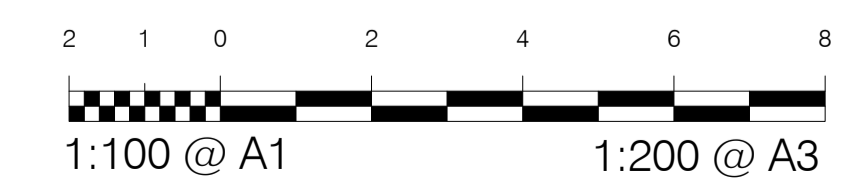


AMENDMENTS			
No.	Revision Description	Date	Issued by
A	ISSUE FOR CONSTRUCTION	24.03.2020	HS
B	ISSUE FOR CC	05.07.21	HS
C	S68 APPLICATION	10.12.21	HS
D	ISSUE FOR CONSTRUCTION	13.12.21	
E	ISSUED FOR SECTION 4.55	10.08.22	

PROPOSED CHANGES TO THE APPROVED DEVELOPMENT APPROVAL ARE NOTED IN [BLUE] AND CLOUDED



1 ROOF PLAN
1 : 100



Project:
PROPOSED IGA SUPERMARKET
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobar
Client:
THE KHAN GROUP



Title:
ROOF PLAN

Date: xx.xx.xx	Design: Designer	Job No:	Dwg:	Rev:
Scale: 1 : 100 @A1	Drawn: Author	017-001	CC-06	E
	Checked: Approver			

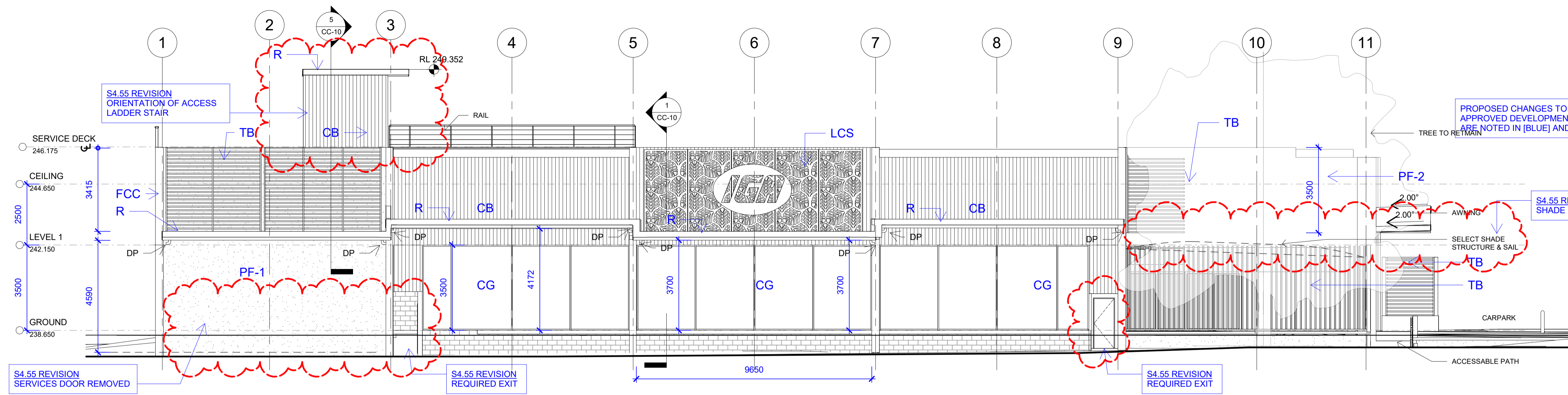
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Do not scale drawing, figured dimensions only to be used. Dimensions to be verified on site before the fabrication of any building components. These designs & plans are copyright & are not to be used or reproduced wholly or in part without the written permission of P.R.D Architects.

CONSTRUCTION CERTIFICATE

AMENDMENTS				
No.	Revision Description	Date	Issued by	
A	REVISED FFL LEVEL	2020.02.03	HS	
B	ISSUE FOR CONSTRUCTION	24.03.2020	HS	
C	NEW EXIT	03.03.21	HS	
D	S&B APPLICATION	10.12.21	HS	
E	ISSUE FOR CONSTRUCTION	13.12.21	HS	
F	ISSUED FOR SECTION 4.55	01.07.22	HS	
G	ISSUED FOR SECTION 4.55	10.08.22	HS	



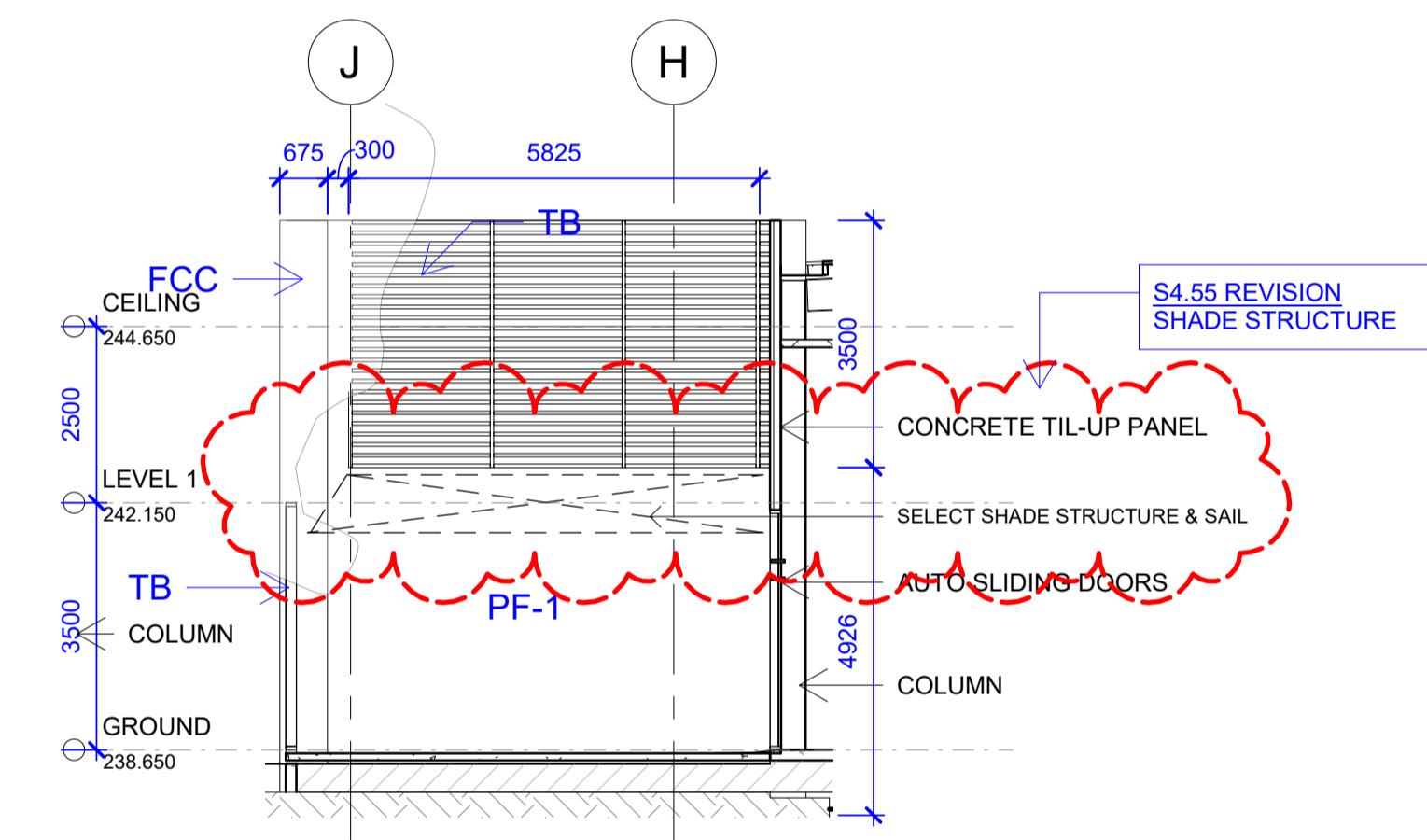
SOUTH ELEVATION - MARSHAL STREET (BARRIER)

2 HWY
1:100

COMPLIANCE NOTES
SEALING OF THE BUILDING ENVELOPE TO COMPLY WITH CLAUSE J3.6 OF THE NCC 2019
BUILDING INSULATION TO COMPLY WITH THE REQUIREMENTS OF CLAUSE J1.2 AND AS/NZS4859.1:2016
REFER TO JVS REPORT FOR BASIX INFORMATION

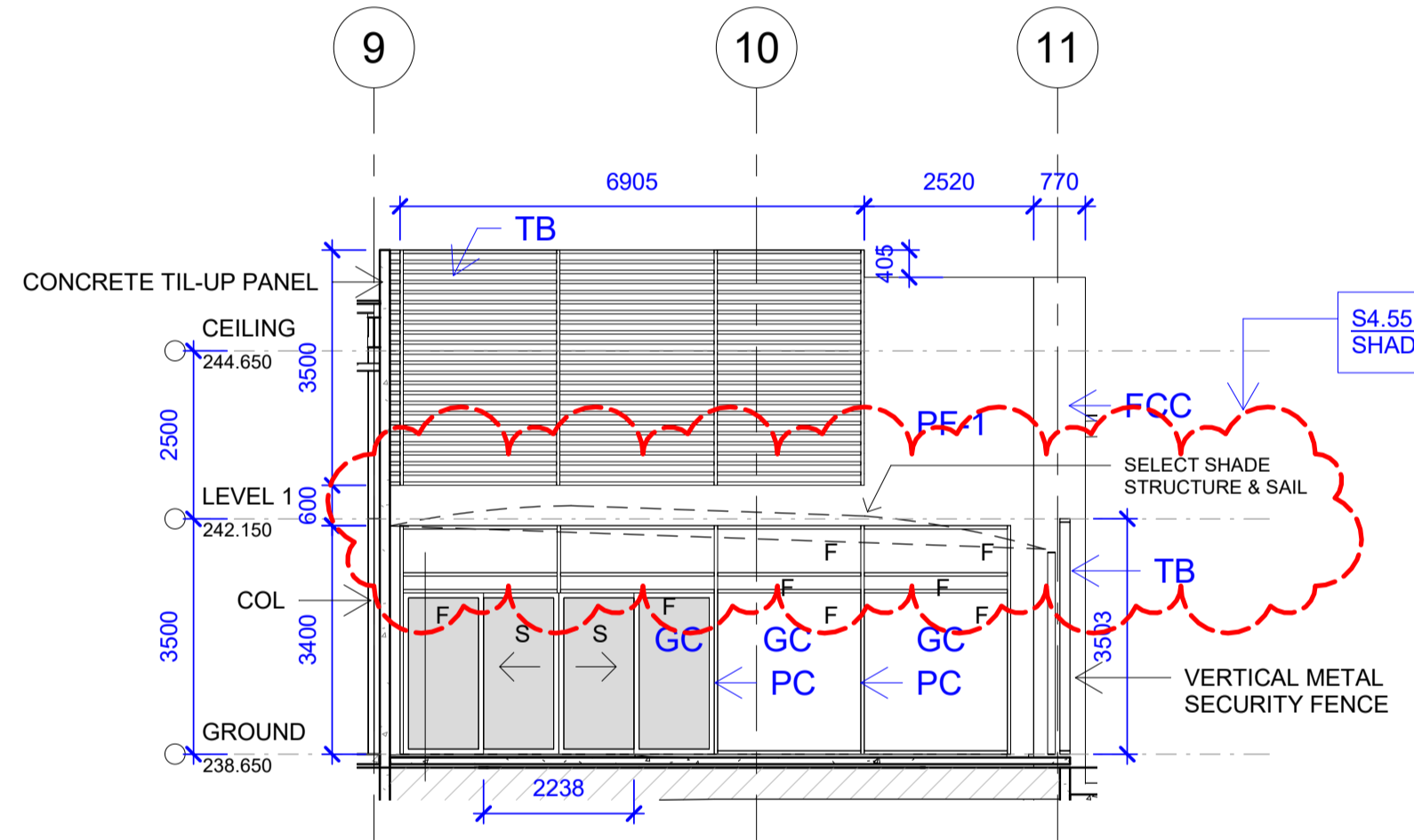
FIRE SOURCE
BASED ON NCC 2019, CLAUSE C2.2 THE FIRE COMPARTMENT OF THE BUILDING IS REQUIRED TO BE OF TYPE B CONSTRUCTION.
THE FIRE SOURCE FEATURES HAVE BEEN IDENTIFIED AS FOLLOWS:
a. THE BOUNDARIES ON THE FAR SIDE OF LOUTH ROAD, LEWIS STREET AND MARSHALL STREET.
b. THE BOUNDARY BETWEEN LOT 52 DP576145 AND THE PROPOSED LOT.
c. THE BOUNDARIES BETWEEN LOT 1 DP950419 AND THE PROPOSED LOT.
d. THE BOUNDARY BETWEEN LOT 1 DP937651 AND THE PROPOSED LOT.
e. THE BOUNDARY BETWEEN LOT 1 DP937652 AND THE PROPOSED LOT.
FIRE SOURCE FEATURES IDENTIFIED ON THE ELEVATIONS WHICH ARE LESS THAN 18.0M AWAY FROM THESE FIRE SOURCE FEATURES AND MUST ACHIEVE THE CORRESPONDING FRL THAT COMPLIES WITH TABLE 4 OF SPEC C1.1.
ALL BUILDING MATERIALS ARE TO BE NON-COMBUSTIBLE AND ARE TO COMPLY WITH THE RELEVANT FRLS FROM TABLE 4 OF SPEC C1.1 FOR BOTH LOADBEARING OR NON-LOADBEARING.
INTERNAL LOADBEARING WALLS AND COLUMNS SUPPORTING THE FIRST FLOOR ARE REQUIRED TO ACHIEVE AN FRL IN ACCORDANCE WITH TABLE 4 OF SPECIFICATION C1.1
FRL'S OF THE EXTERNAL WALLS ARE TO BE ACHIEVED FROM BOTH SIDES OF THE WALLS.

FINISHES SCHEDULE:
*ALL MATERIALS TO BE NON-COMBUSTIBLE, TO COMPLY WITH CLAUSE C1.14 OF THE NCC 2019
PF-1 PAINT FINISH 1 - COLORBOND "WOODLAND GREY" OR SIMILAR
PF-2 PAINT FINISH 2 - WHITE
CB LASYAGHT CUSTOM ORB - "WINDSPREY"
GC CLEAR GLAZING WITH CLEAR COAT ALUMINIUM FRAME OF SIMILAR, REFER TO JVS REPORT
PC POWDERCOAT COLOUR- COLORBOND "WOODLAND GREY". ALSO TO FASCIAS AND GUTTERS
TB TIMBER LOOK, ALUMINIUM BATTENS
LCS LASER CUT ALUMINIUM SCREENING POWDERCOATED IN BURNT ORANGE OR SIMILAR
FCC HARDIES FC CLADDING, PAINT FINISH TO MATCH COLORBOND "WOODLAND GREY"
FCS HARDIES FC CLADDING IN DULUX "VIVID WHITE" OR SIMILAR TO SOFFIT
R METAL ROOF SHEETING- TRIMDECK "SHALE GREY" OR SIMILAR
SP TERRACOTTA COLOUR TILES TO FOOTPATH TO MATCH CURRENT CITY CENTRE FOOTPATHS



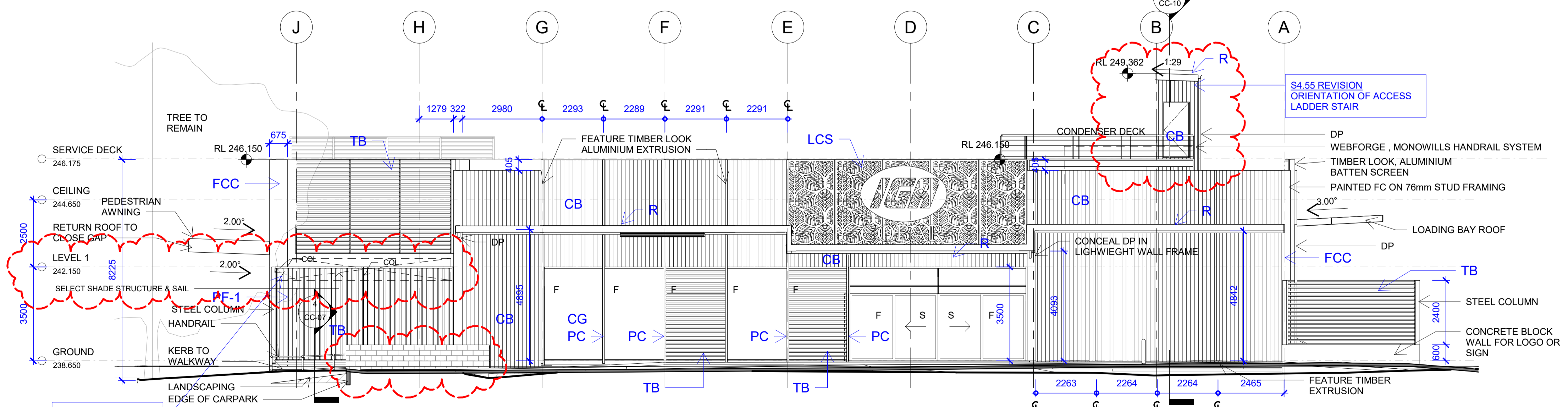
OUTDOOR EAST ELEVATION

3
1:100



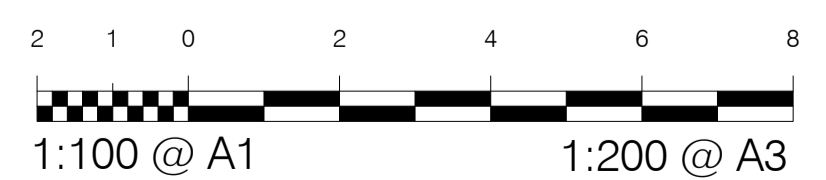
OUTDOOR SOUTH ELEVATION

4
1:100



EAST ELEVATION

1
1:100



Project:
PROPOSED IGA SUPERMARKET
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobar
Client:
THE KHAN GROUP



Title:
ELEVATIONS

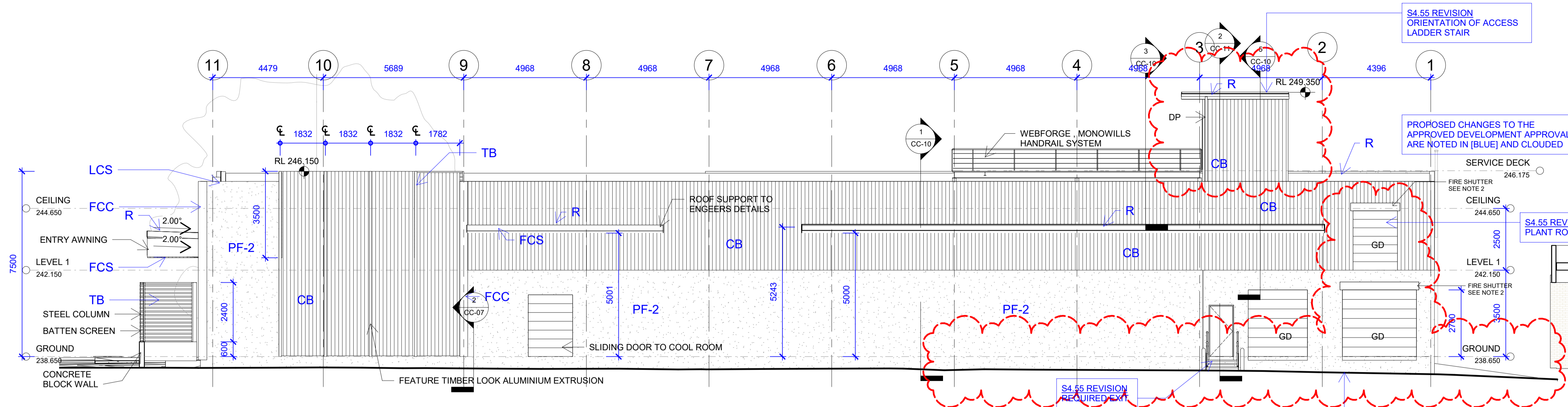
Date: xx.xx.xx	Design: Designer	Job No:	Dwg:	Rev:
Scale: As indicated	Drawn: Author	017-001	CC-08	G
	Checked: Approver			

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CONSTRUCTION CERTIFICATE

AMENDMENTS			
No.	Revision Description	Date	Issued by
A	REVISED FFL LEVEL	2020.02.03	HS
B	ISSUE FOR CONSTRUCTION	24.03.2020	HS
C	S46 APPLICATION	10.12.21	HS
D	ISSUE FOR CONSTRUCTION	13.12.21	HS
E	ISSUED FOR SECTION 4.55	01.07.22	HS
F	ISSUED FOR SECTION 4.55	10.08.22	HS



1 NORTH ELEVATION
1 : 100

FINISHES SCHEDULE:

*ALL MATERIALS TO BE NON-COMBUSTIBLE, TO COMPLY WITH CLAUSE C1.14 OF THE NCC 2019

PF-1	PAINT FINISH 1 - COLORBOND 'WOODLAND GREY' OR SIMILAR
PF-2	PAINT FINISH 2 - WHITE
CB	LASYAGHT CUSTOM ORB - 'WINDSPREY'
GC	CLEAR GLAZING WITH CLEAR COAT ALUMINIUM FRAME OF SIMILAR, REFER TO JVS REPORT
PC	POWDERCOAT COLOUR- COLORBOND 'WOODLAND GREY'- ALSO TO FASCIAS AND GUTTERS
TB	TIMBER LOOK, ALUMINIUM BATTENS
LCS	LASER CUT ALUMINIUM SCREENING POWDERCOATED IN BURNT ORANGE OR SIMILAR
FCC	HARDIES FC CLADDING, PAINT FINISH TO MATCH COLORBOND 'WOODLAND GREY'
FCS	HARDIES FC CLADDING IN DULUX 'VIVID WHITE' OR SIMILAR TO SOFFIT
R	METAL ROOF SHEETING- TRIMDECK 'SHALE GREY' OR SIMILAR
SP	TERRACOTTA COLOUR TILES TO FOOTPATH TO MATCH CURRENT CITY CENTRE FOOTPATHS

COMPLIANCE NOTES

SEALING OF THE BUILDING ENVELOPE TO COMPLY WITH CLAUSE J3.6 OF THE NCC 2019
BUILDING INSULATION TO COMPLY WITH THE REQUIREMENTS OF CLAUSE J1.2 AND AS/NZS4859.1-2018
REFER TO JVS REPORT FOR BASIX INFORMATION

FIRE SOURCE

BASED ON NCC 2019, CLAUSE C2.2 THE FIRE COMPARTMENT OF THE BUILDING IS REQUIRED TO BE OF TYPE B CONSTRUCTION.

THE FIRE SOURCE FEATURES HAVE BEEN IDENTIFIED AS FOLLOWS:

- THE BOUNDARIES ON THE FAR SIDE OF LOUTH ROAD, LEWIS STREET AND MARSHALL STREET.
- THE BOUNDARY BETWEEN LOT 52 DP576145 AND THE PROPOSED LOT.
- THE BOUNDARIES BETWEEN LOT 1 DP901419 AND THE PROPOSED LOT.
- THE BOUNDARY BETWEEN LOT 1 DP937651 AND THE PROPOSED LOT.
- THE BOUNDARY BETWEEN LOT 1 DP937652 AND THE PROPOSED LOT.

FIRE SOURCE FEATURES IDENTIFIED ON THE ELEVATIONS WHICH ARE LESS THAN 18.0M AWAY FROM THESE FIRE SOURCE FEATURES AND MUST ACHIEVE THE CORRESPONDING FRL THAT COMPLIES WITH TABLE 4 OF SPEC C1.1.

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INTERNAL LOADBEARING WALLS AND COLUMNS SUPPORTING THE FIRST FLOOR ARE REQUIRED TO ACHIEVE AN FRL IN ACCORDANCE WITH TABLE 4 OF SPECIFICATION C1.1

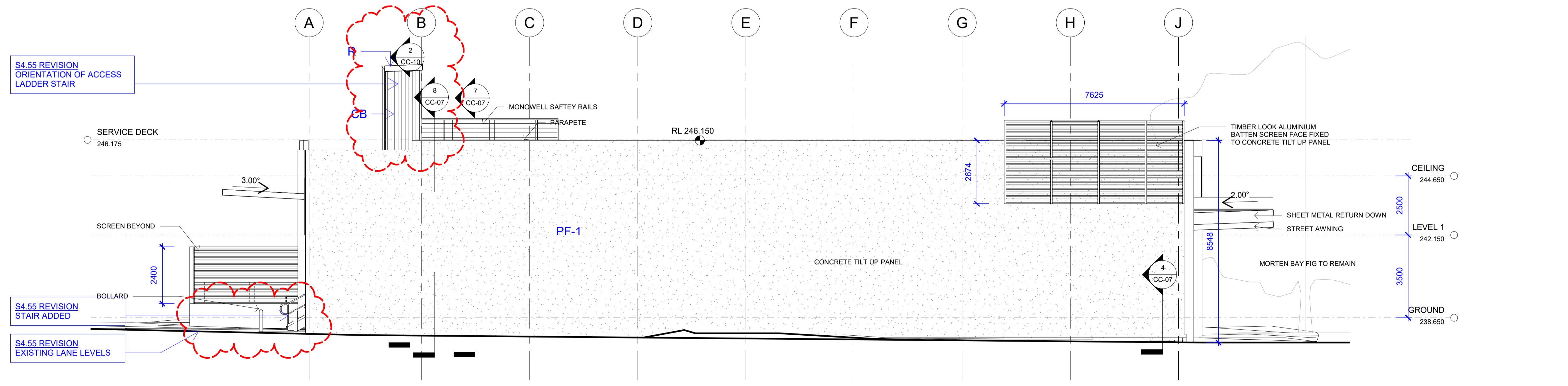
FRL'S OF THE EXTERNAL WALLS ARE BE ACHIEVED FROM BOTH SIDES OF THE WALLS.

NOTE 2

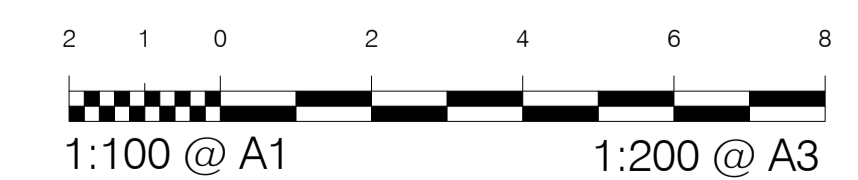
PROTECTION OF OPENINGS
BOTH THE GROUND FLOOR REFUSE & LEVEL 1 PLANT ROOM ROLLER DOORS ARE WITHIN 3M OF THE SIDE BOUNDARY WITH A WALL ANGLE OF 0 deg.

ANY DOOR THAT IS WITHIN A FIRE WALL IS REQUIRED TO COMPLY WITH NCC PART C3.2(a)(i), C3.4(a)(i)(b) & C3.5(a)(i)(b)(c)(d)

REFER TO NCC: SPECIFICATION C1.1 FIRE WALLS
SPECIFICATION E1.5 SPRINKLERS



2 WEST ELEVATION
1 : 100



Project:

PROPOSED IGA SUPERMARKET
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobar

Client:
THE KHAN GROUP



Title: **ELEVATIONS**

Date: xx.xx.xx	Design: Designer	Job No: 017-001	Dwg: CC-09	Rev: F
Scale: As indicated	Drawn: Author	Checked: Approver		

(note: scale reduced half @A3)

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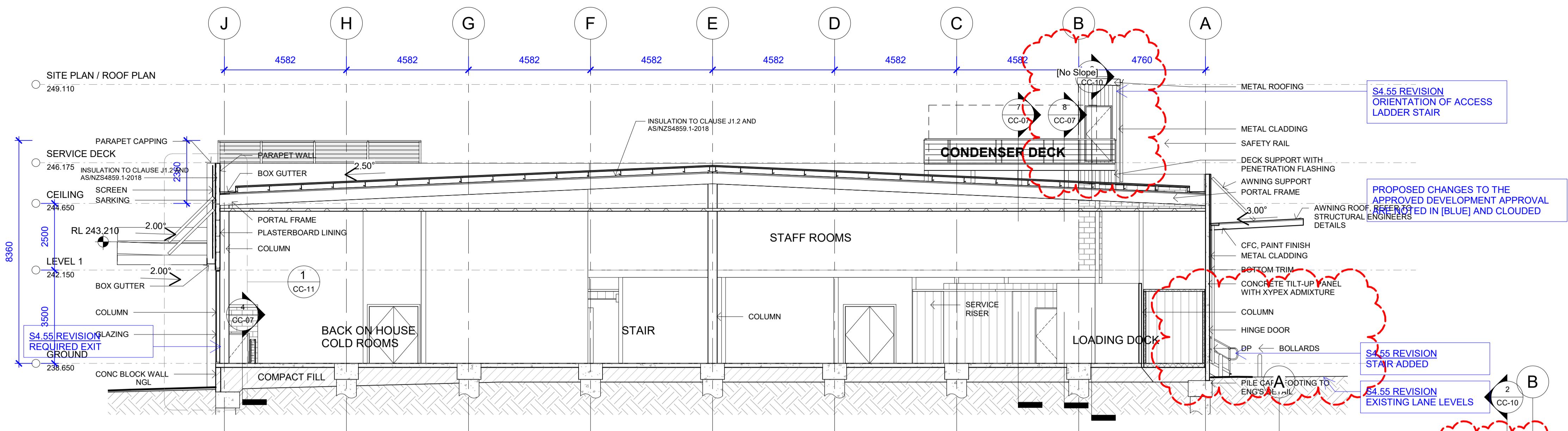
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CONSTRUCTION CERTIFICATE

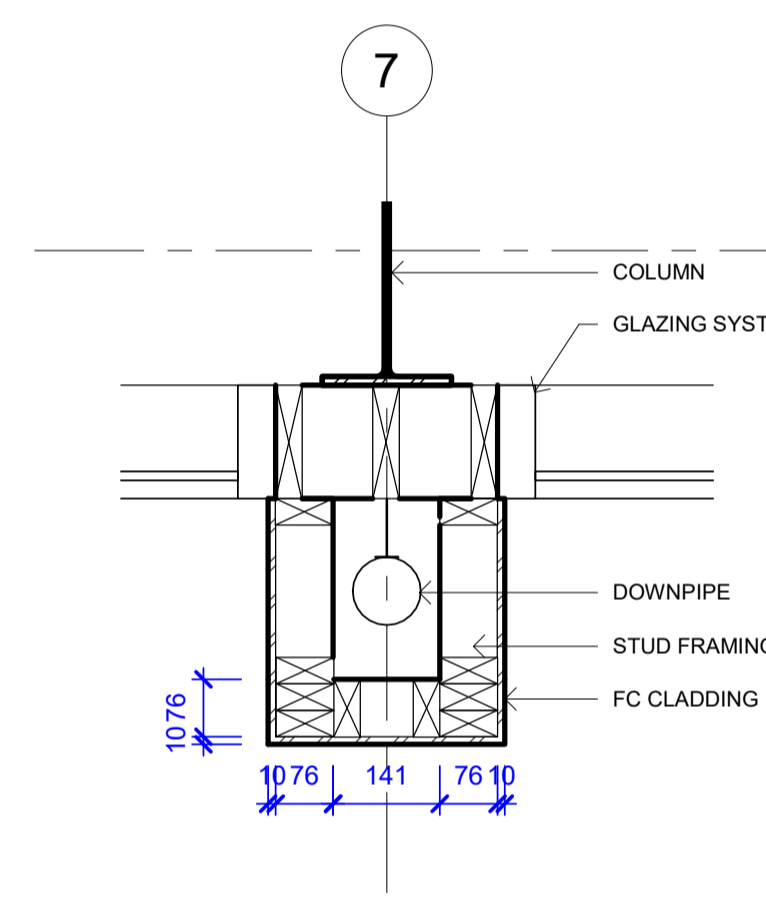
No.	Revision Description	Date	Issued by
A	REVISED FFL LEVEL	2020.02.03	HS
B	ISSUE FOR CONSTRUCTION	24.03.2020	HS
C	REVISED STAIR LOCATION	23.06.21	HS
D	BUILDER RFI	28.10.21	HS
E	S68 APPLICATION	10.12.21	HS
F	ISSUE FOR CONSTRUCTION	13.12.21	HS
G	ISSUED FOR SECTION 4.55	01.07.22	HS
H	ISSUED FOR SECTION 4.55	10.08.22	HS

COMPLIANCE NOTES

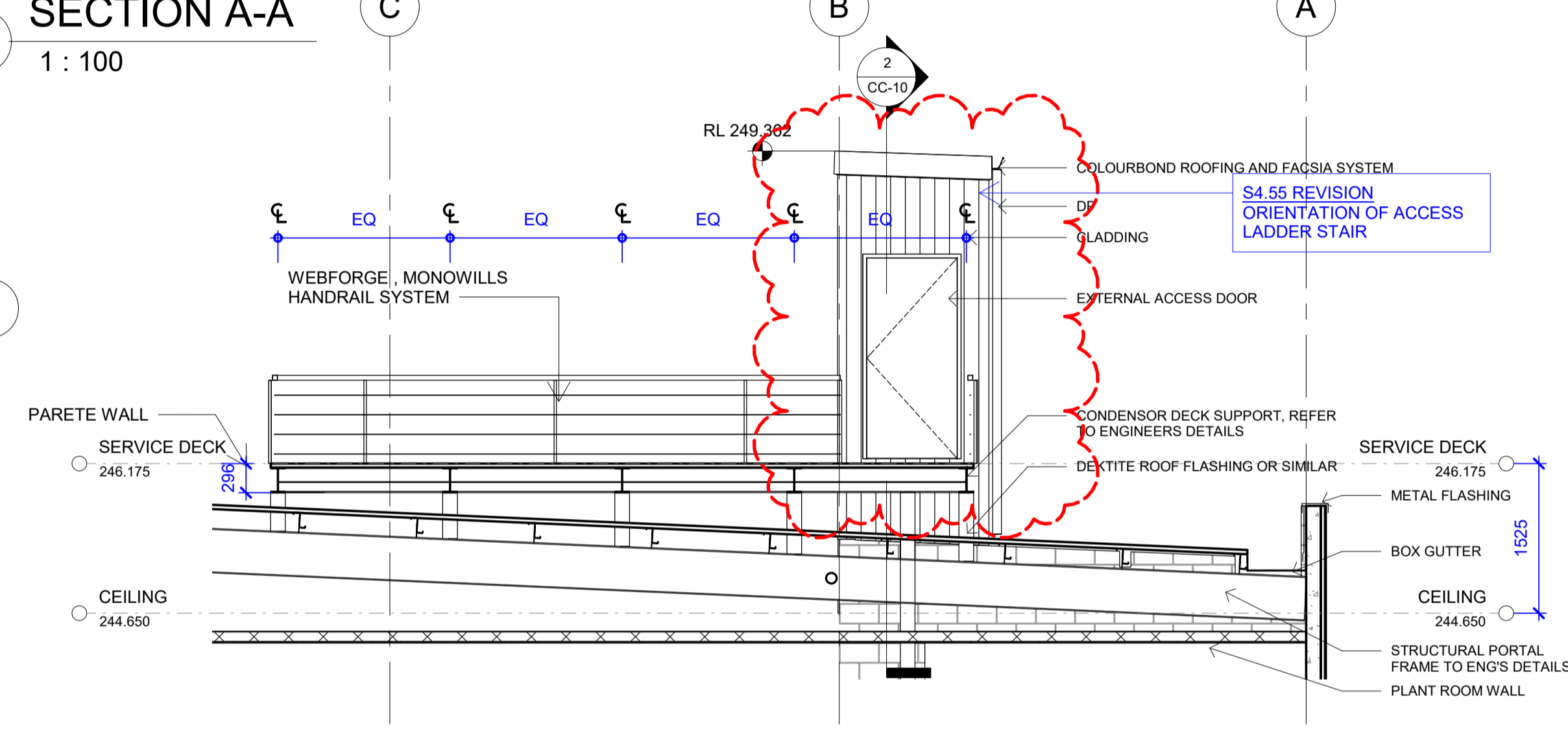
SEALING OF THE BUILDING ENVELOPE TO COMPLY WITH CLAUSE J3.6 OF THE NCC 2019
 BUILDING INSULATION TO COMPLY WITH THE REQUIREMENTS OF CLAUSE J1.2 AND AS/NZS4859.1-2018
 REFER TO JV3 REPORT FOR BASIX INFORMATION



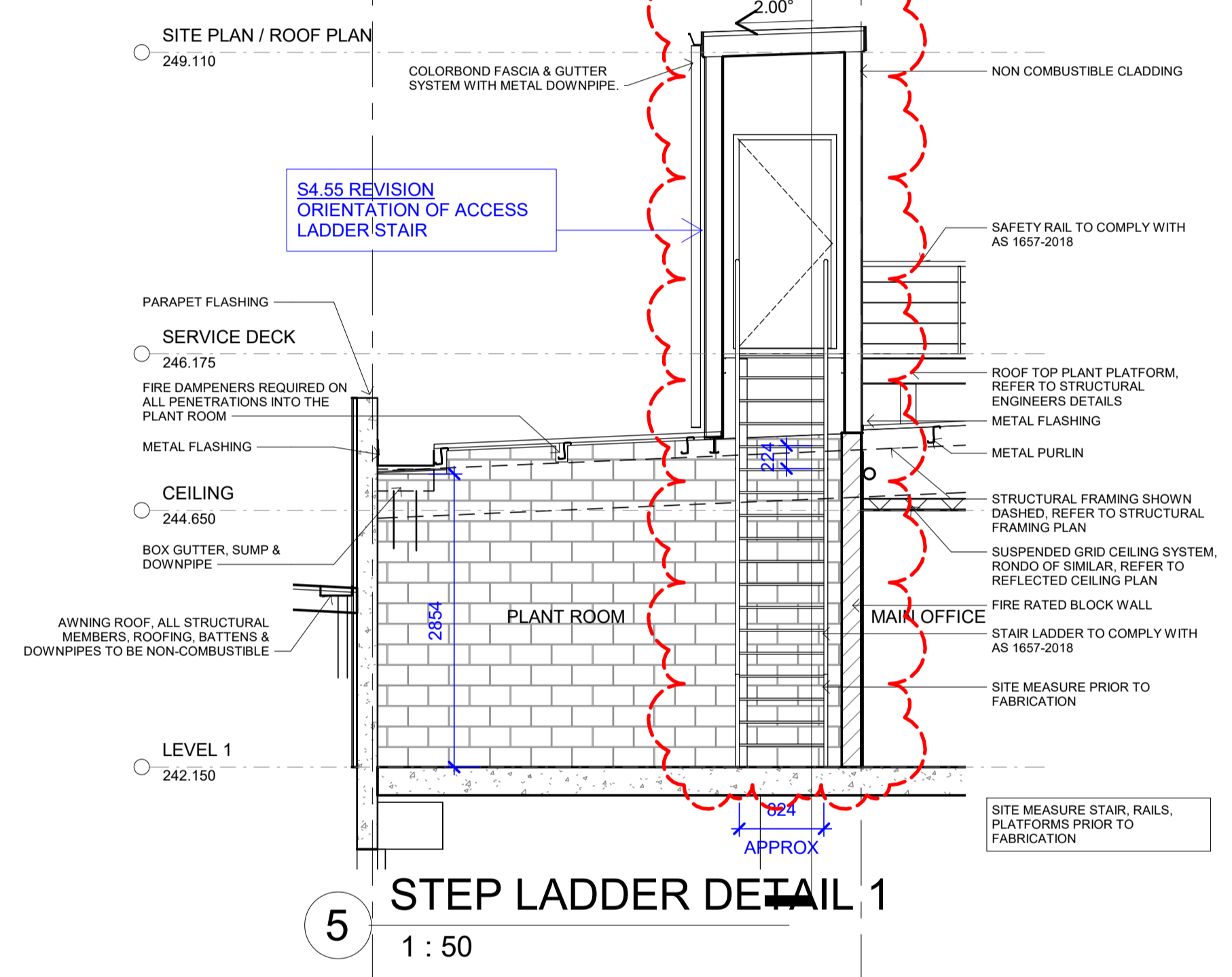
1 SECTION A-A
1 : 100



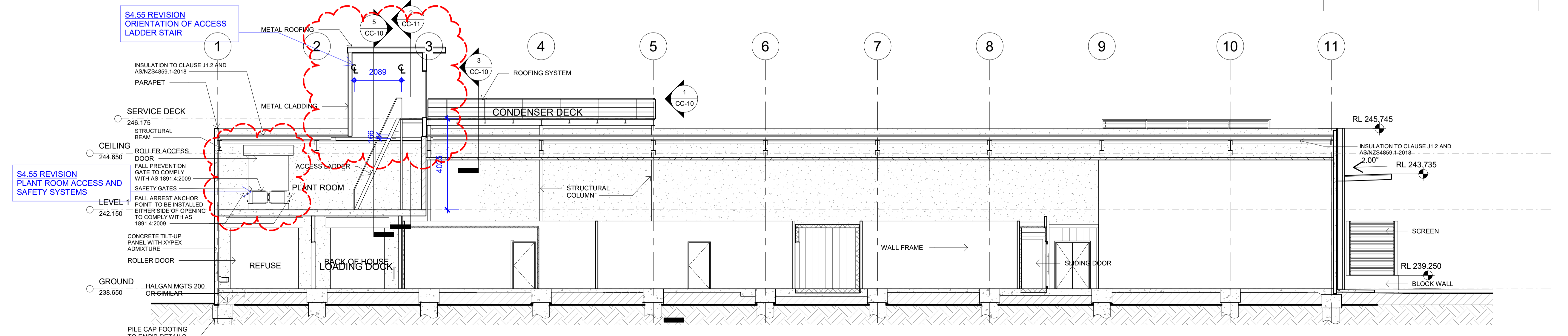
4 DETAIL - DP
1 : 10



3 CONDENSER DECK
1 : 50



5 STEP LADDER DETAIL 1
1 : 50



2 SECTION B-B
1 : 100

Project:
PROPOSED IGA SUPERMARKET
 Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobar
 Client:
THE KHAN GROUP



Title:
SECTIONS



Date: xx.xx.xx	Design: Designer	Job No: 017-001	Dwg: CC-10	Rev: H
Scale: As indicated	Drawn: Author	Checked: Approver		

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FIT-OUT NOTE

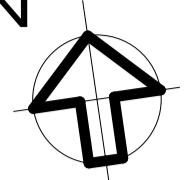
THE PROPOSED FITOUT PLANS DO NOT FORM PART OF THE CONSTRUCTION CERTIFICATE FOR THE BUILDING. THEY REPRESENT THE PROPOSED POSSIBLE INTERNAL FITOUT. REFER TO FITOUT CONTRACTOR FOR FIT-OUT PLANS. THE FIT-OUT CONTRACTOR IS TO ENSURE THE PLANS WILL COMPLY WITH NCC PART D3, & AS1428.1-2009.

PART D3.4 EXEMPTION
PROPOSED AREAS AS PART OF THE PART D3.4 EXEMPTION

S4.55 REVISION
TO INCLUDE ALL DEPARTMENTS AND ACCOCIATED STORE AREAS AS PART OF THIS CONSENT:
LIQUOR.
BAKERY.
DELI.
FISH.
MEAT.
PRODUCE TRIM.
PRODUCE COOL ROOM.
FREEZER.
DAIRY COOL ROOM.
SALAD BAR.
CHECKOUTS.
OUTDOOR NURSERY.
ALL AREAS IN WHICH PRODUCE IS DISPLAYED ON SHELVING FOR THE SELLING OF GOODS.

Do not scale drawing, figured dimensions only to be used. Dimensions to be verified on site before the fabrication of any building components. These designs & plans are copyright & are not to be used or reproduced wholly or in part without the written permission of P.R.D Architects.

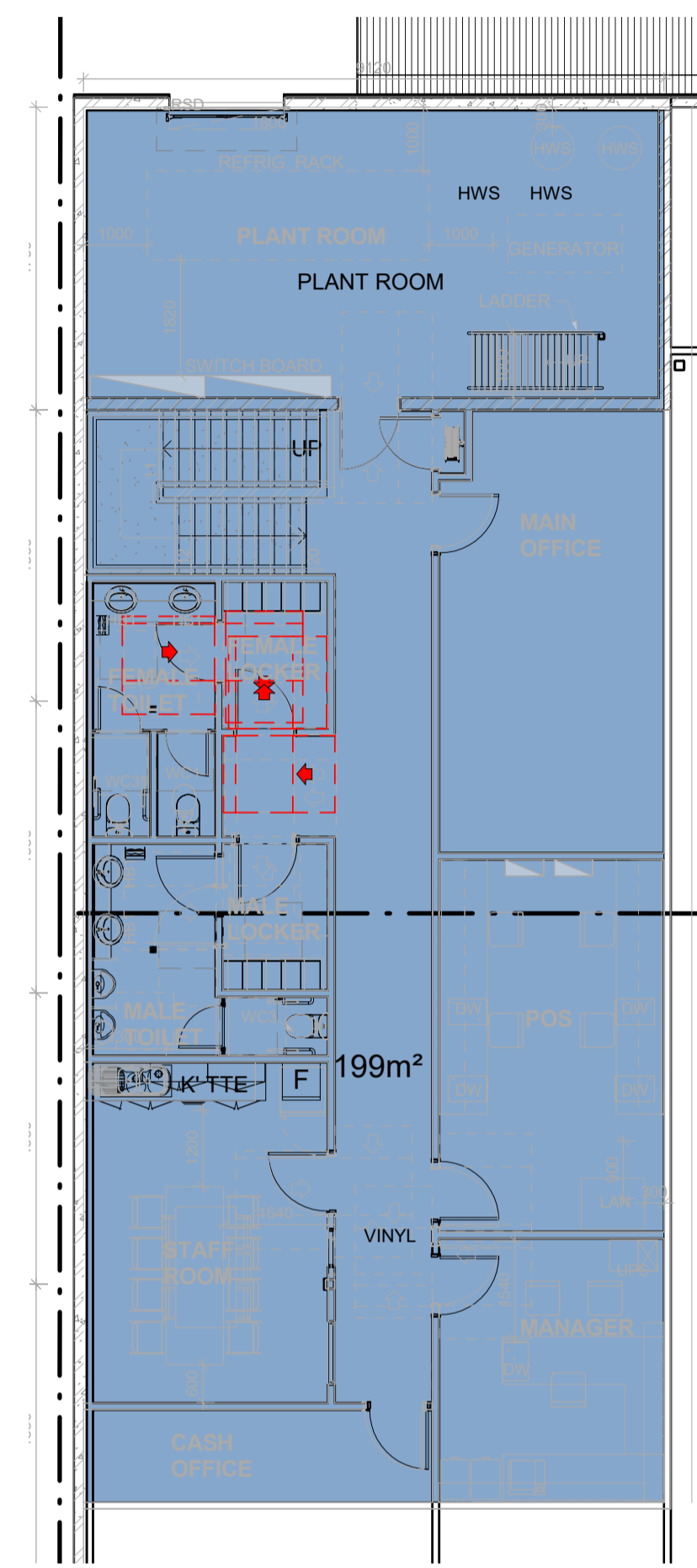
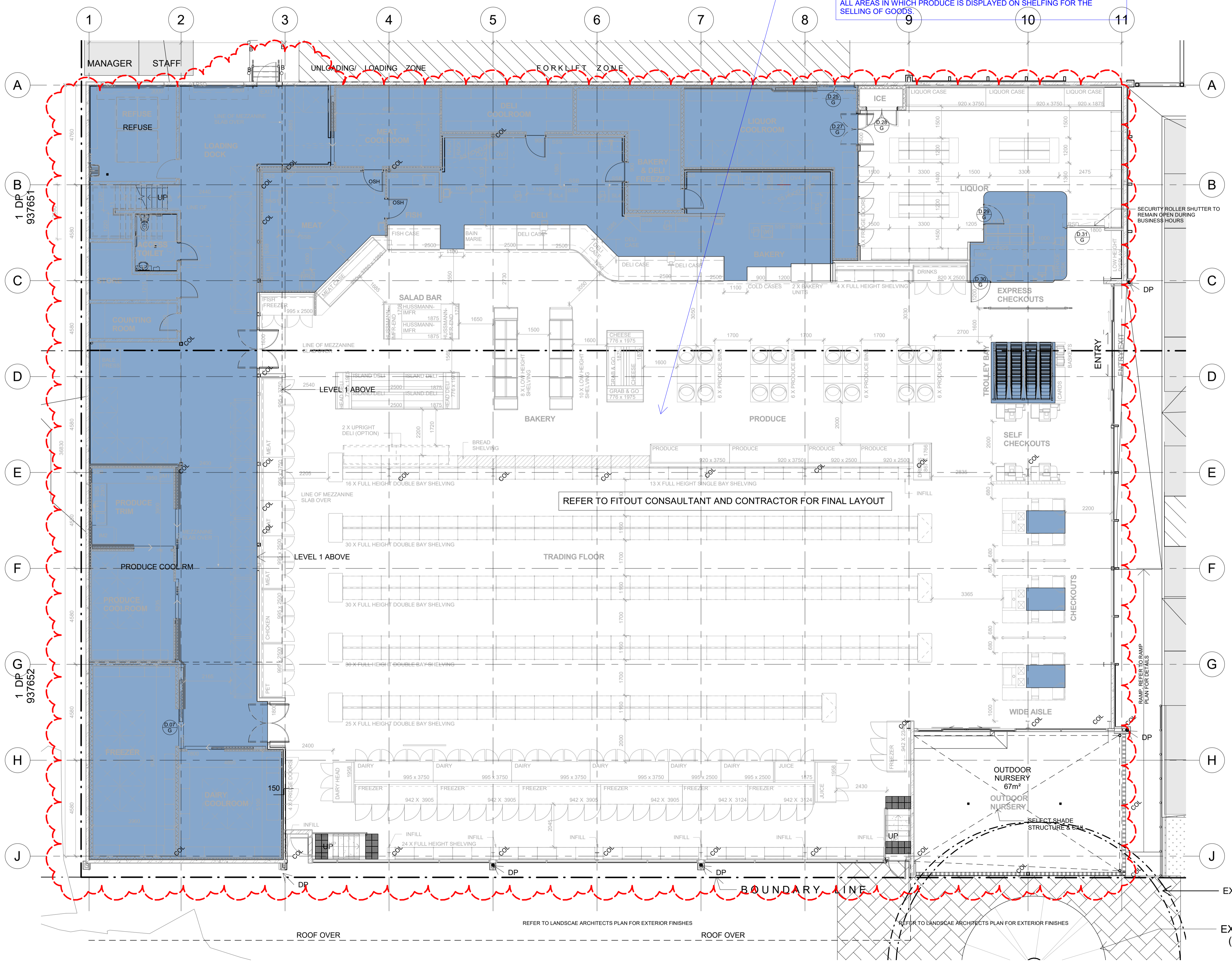
CONSTRUCTION CERTIFICATE



AMENDMENTS

No.	Revision Description	Date	Issued by
A	S48 APPLICATION	10.12.21	HS
B	ISSUE FOR CONSTRUCTION	13.12.21	HS
C	ISSUED FOR SECTION 4.55	01.07.22	HS
D	ISSUED FOR SECTION 4.55	10.08.22	HS

PROPOSED CHANGES TO THE APPROVED DEVELOPMENT APPROVAL ARE NOTED IN [BLUE] AND CLOUDED



2 FIRST FLOOR - FITOUT
1 : 100

1 GROUND FLOOR - FITOUT PLAN
1 : 100

Project:
PROPOSED IGA SUPERMARKET
Lot 2 in DP 501419, 1-3 Marshall Street and Lots 15 & 16 DP 129574, 2A Lewis Street, Cobarr
Client:
THE KHAN GROUP



Title:
PROPOSED FITOUT PLAN

Date:	Design: Designer	Job No:	Dwg:	Rev:
xx.xx.xx	Author	017-001	CC-16	D
1 : 100 @A1	Check: Approver			

(note: scale reduced half @A3)

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Khan's IGA
SUPERMARKETS

DUNPEC P/L

ABN 20 003 552 056
T/AS Khan's Supa IGA

NAZ P/L

ABN 18 050 035 080
T/AS Khan's Supa IGA

Administration Office

100 Argyle Street
Picton NSW 2571
Ph: 02 4677 2252
Fx: 02 4677 3897
Email: admin@khangroup.com.au

www.khangroup.com.au

30th September 2022

Mr. Peter Vlatko,
General Manager,
Cobar Shire Council,
P.O. Box 223,
COBAR N.S.W. 2835.

Dear Peter

Re: Khan's Supa IGA Cobar

Please note that we are in the process of obtaining approval to transfer the Liquor Licence we currently hold in our Supermarket at 29 Marshall Street, Cobar to the new Supermarket to be built by Nanga Parbat Pty Ltd in Cobar.

Yours faithfully,

Rashid Khan

Director



**PRD
ARCHITECTS**

Suite 3
73 Market Street
Wollongong NSW 2500

PO Box 445
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SECTION 4.55 (1A) MODIFICATION of

Development Consent No. 2018/LD-013 Rev 01
Demolition of the existing structures and construction of a supermarket

Lot 15 & 16 DP129574 and Lot 2 DP501419

No. 1 Marshall Street & 2A Louth Road, Cobar

MODIFICATION STATEMENT

Modify Condition No. 1 of Development Consent No. 2018/LD-013 Rev 01
– Approved plans , Minor amendments to the site levels, plant stair ladder orientation and elevations

PROPOSED MODIFICATION

Reference is made to Consent to Development Application 2018/LD-00013 REV 1 determined by Cobar Shire Council on 12 December 2019 for the demolition of the existing structures and construction of a supermarket at No 1 Marshall Street and 2A Louth Road, Cobar.

This Application to Modify Consent made under Section 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EPA Act 1979) proposes to modify the existing Development Consent to include the following design amendments:

Compliance with the NCC, part D1.4 – Exit travel distance, for internal travel distance on the ground floor to all required fire exits out onto Marshall street. To meet the travel distance on the first floor the internal stairs that service the first floor level is required to move from grid F to grid B to comply with NCC - part D1.4 and the reduction in floor area to the first floor office and plant rooms to 200m² or under (NCC D3.3) to be exempted from the use of a passenger lift or ramp to service the first floor, also resulting in minor planning changes.

Minor external surface levels were revised due to the required levels from the Storm water engineer which raised the surface finish levels above the existing surface levels to the lane which services the residence to the west.

The proposed parking levels were graded down westward to match the existing lane levels. This resulted in a level drop from the proposed internal finish level of the loading bay down to the existing levels of the lane by approximately 600mm. to accommodate this level difference, stairs were required to exit the building safely as this is a required fire exit.

This modification also seek to amend the conditions of consent, No's. 4 & 16.

The following points outline the changes and are detailed on the plans prepared by PRD Architects, REF: CC-02 Site Plan, CC-03 Ground floor plan, CC-05 – First floor plan, CC-06 Roof plan, CC-08 Elevations, CC-09 Elevations, CC-10 Sections, CC-16 Proposed fitout plan.

SITE:

- Internal fished floor level to match STW engineering plan levels
- External parking levels graded down westward to match existing lane level
- Relocate the Sub station to North East corner of the car park
- Relocate disabled parking space closer to the entry door

GROUND & FRIST FLOOR PLANS:

- Addition of exit stairs adjacent to loading bay
- Addition of required exit doors to southwest and southeast of the main supermarket floor
- Relocate internal stair from grid F to grid B to comply with the Fire exit path of travel distance of the first floor
- Addition of shade structure over outdoor nursery
- Reduction in floor area to the first floor office and plant rooms to 200m2 to comply with NCC - part D1.4 and NCC D3.3 to be exempted from the use of a passenger lift or ramp to service the first floor, also resulting in minor planning changes.
- Reorient the plant room stair ladder for better plant layout and access to roof top plant condenser platform

ELEVATIONS & SECTIONS

- Reorient the plant room stair ladder for better plant layout and access to roof top plant condenser platform
- External parking levels to match existing lane level, north elevation

- Addition of shade structure over outdoor nursery
- Addition of required exit doors to south elevations
- Plant room access door, north elevation

CONDITIONS OF CONSENT ITEMS 4 & 16.

Consent No. 4 currently reads:

This consent in no way implies or grants the approval of the following: a) Internal fit-out of any areas within the building, Separate approvals shall be obtained from the relevant consent and/or certifying authority for the above works and uses (except where exempt development applies)

Consent No. 4 proposed to read:

Internal fit-out of any areas within the building, this includes but is not limited to Liquor, bakery, Deli, fish, Meat, Salad Bar, all produce areas on the main floor, Produce trim area, Produce cool room, Freezer, Dairy cool room, outdoor nursery & all offices spaces, shall be obtained from the relevant consent and/or certifying authority for the above works and uses.

The fitting out and internal finishes to all food preparation, storage and display areas shall be strictly in accordance with the Food Act, 2003, Regulation 2010 and Food Safety Standards and AS 4674.

Consent No. 16 currently reads:

Prior to the issue of a construction certificate, all existing structures are to be demolished on site. Following the demolition process a contaminated land preliminary site investigation referencing the SEPP 55 Planning Guidelines be undertaken in respect of this development site and recommendations from the investigation implemented as a condition of this consent. The preliminary site investigation is required to be prepared and lodged with and accepted by Council as satisfying this condition prior to any demolition, civil or construction works commencing on site.

Consent No. 16 proposed to read:

We seek approval to remove this consent condition and to only reference consent condition No. 25 for all demolitions works to be carried out as stated in this consent after the construction certificate has been issued.

Please note a Preliminary Site Investigation (PSI) report has been prepared by Barnson dated 27.01.2021 and lodged with council for approval.

LEGISLATIVE REQUIREMENTS

Assessment – Section 4.55 of the EPA Act 1979

Section 4.55(1A) of the EPA Act 1979 states:

'A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*

- (c) it has notified the application in accordance with:*
 - (i) the regulations, if the regulations so require, or*
 - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*

- (d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.'*

The proposed modification requests minor design amendments to include all items outlined above. There will be no change to the building envelope, setbacks, height ensuring the changes will remain of minimal environmental impact.

The proposal will remain substantially the same as the approved development, being for 'Demolition of the existing structures and construction of a supermarket'. The modification will not significantly alter the proposal, rather it will improve the internal amenity of the supermarket without any increased impact on adjoining properties. The modification is considered to result in a better planning outcome for the development.

Assessment – Section 4.15 of the EPA Act 1979

No aspect of the proposed modification is anticipated to contravene the intentions and requirements within Section 4.15 of the EPA Act 1979. The modification will ensure the development continues to meet the objectives of Council's controls and the intentions of the original Development Consent in the same manner as the stamped approved plans.

It is the opinion of *PRD Architects* that these amendments will improve the overall amenity and compliance from the requested design modification.

CONCLUSION

The proposed modification results in a development that is substantially the same as the original approval, with no change to the external building envelope. The objectives of the EPA Act 1979 and the E2 Commercial Centre continue to be achieved and the development will not have any excessive impact on the surrounding natural and built environments.

As the overall development is considered to remain in the public interest, it is requested that Council favourably consider modifying Condition No. 1 to approve the minor design modification.

Should you require any further information or clarification in relation to this request it would be appreciated if you could contact PRD Architects.

Thank you.

Yours faithfully,



Peter Rasa
PRD Architects